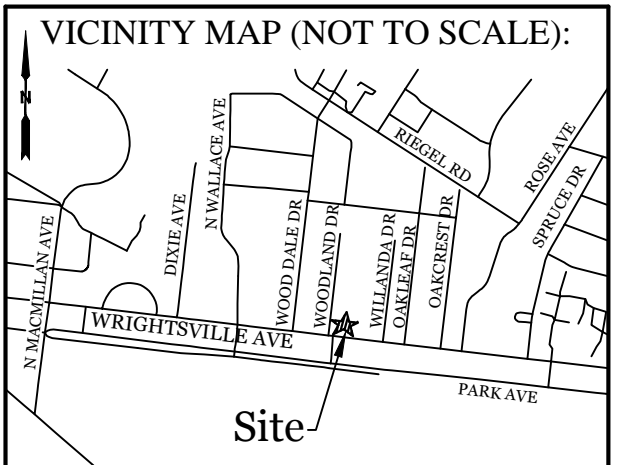


**RECEIVED**  
By waltonj at 3:39 pm, Jul 26, 2021

**SITE DATA**

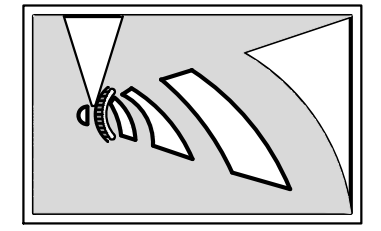
PARCEL ID:	R05520-008-037-000
CURRENT ZONING:	CB W/ WACO
CAMA LAND USE CLASSIFICATION:	URBAN
PROJECT ADDRESS:	5039 WRIGHTSVILLE AVE WILMINGTON, NC 28403
CURRENT OWNER:	MOHAMAD ALI 4709 WEDGEFIELD DR WILMINGTON, NC 28409
TOTAL ACREAGE IN PROJECT BOUNDARY:	16,151 S.F. (±0.37 ac.)
EX BUILDING SIZE:	3,000 S.F. GFA
EXISTING ONSITE IMPERVIOUS AREAS:	
BLDG. ROOF INCLUDING OVERHANGS:	3,880 S.F.
STORAGE CONTAINERS:	582 S.F.
ASPHALT:	5,480 S.F.
CONCRETE:	5,293 S.F.
TOTAL:	15,235 S.F. (94.3%)
EXISTING ONSITE IMPERVIOUS AREAS TO BE REMOVED:	
BLDG. OVERHANGS:	672 S.F.
STORAGE CONTAINERS:	582 S.F.
ASPHALT:	5,480 S.F.
CONCRETE:	5,293 S.F.
TOTAL:	12,027 S.F.
SOIL TYPE:	Bh (Baymeade-urban complex) (Per the USDA websoil survey map)



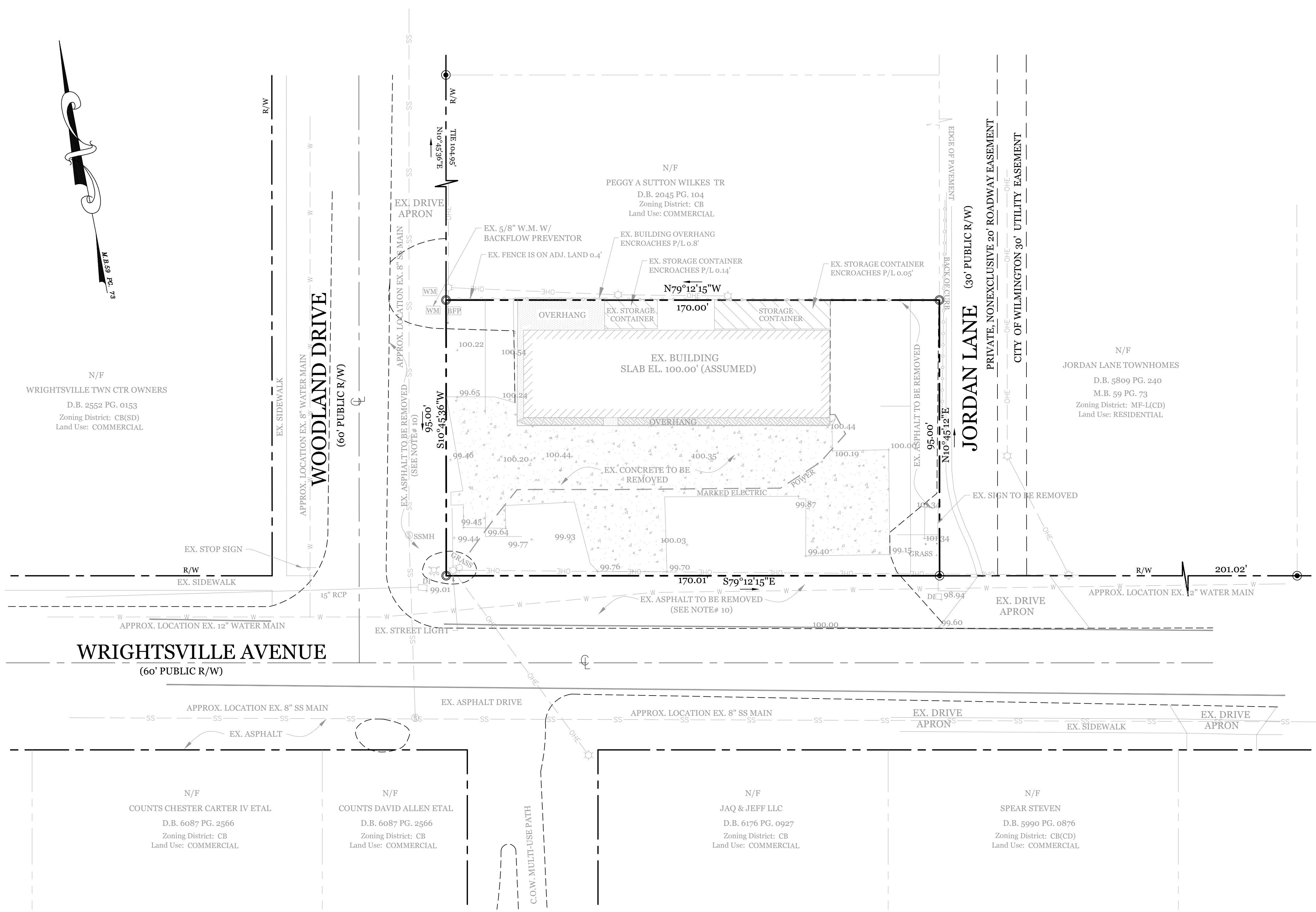
**REVISIONS**

NO.	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**  
5725 Oleander Dr. Unit E-7  
Wilmington, North Carolina 28403  
Phone: 910.859.8983  
Email: Charlie@intracoastalengineering.com  
License Number: P-0662



- NOTES:**
- EXISTING SURVEY DATA PROVIDED BY STUART Y. BENSON NC PLS. NO. L-2675.
  - EXISTING ROW LINES AND DRIVEWAYS ACROSS WRIGHTSVILLE AVE. WERE TAKEN FROM NEW HANOVER COUNTY GIS, AND RECENT AERIAL IMAGES.
  - THIS LOT IS LOCATED IN ZONE X AS PER FIRM COMMUNITY # 370171, MAP# 3720314700K, DATED: AUGUST 28, 2018.
  - NO WETLANDS EXIST WITHIN THE PROPOSED DEVELOPMENT AREA.
  - THIS PROPERTY IS NOT AFFECTED BY AN AEC.
  - NO CONSERVATION RESOURCES EXIST ON SITE.
  - THIS PROPERTY IS NOT AFFECTED BY ANY HISTORIC OR ARCHAEOLOGICAL SITES.
  - NO REGULATED TREES EXIST ON SITE.
  - PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, A CONSTRUCTION ENTRANCE AND SILT FENCING SHALL BE INSTALLED.
  - WHEN THE USE OF ANY DRIVEWAY HAS BEEN PERMANENTLY DISCONTINUED, REPLACE ALL NECESSARY CURBS, GUTTERS, APRONS, SIDEWALKS, AND APPURTENANCES THERETO.



N/F  
WRIGHTSVILLE TWN CTR OWNERS  
D.B. 2552 PG. 0153  
Zoning District: CB(SD)  
Land Use: COMMERCIAL

N/F  
JORDAN LANE TOWNHOMES  
D.B. 5809 PG. 240  
M.B. 59 PG. 73  
Zoning District: MF-L(CD)  
Land Use: RESIDENTIAL

N/F  
COUNTS CHESTER CARTER IV ETAL  
D.B. 6087 PG. 2566  
Zoning District: CB  
Land Use: COMMERCIAL

N/F  
COUNTS DAVID ALLEN ETAL  
D.B. 6087 PG. 2566  
Zoning District: CB  
Land Use: COMMERCIAL

N/F  
JAQ & JEFF LLC  
D.B. 6176 PG. 0927  
Zoning District: CB  
Land Use: COMMERCIAL

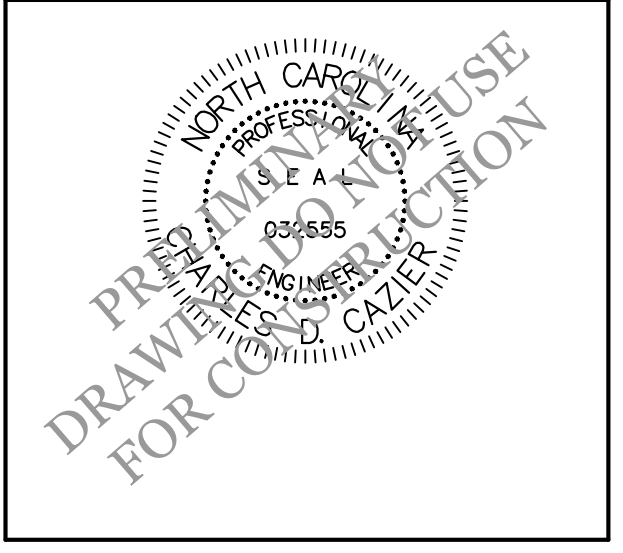
N/F  
SPEAR STEVEN  
D.B. 5990 PG. 0876  
Zoning District: CB(CD)  
Land Use: COMMERCIAL

**LEGEND**

- PROPERTY LINE
- ADJOINERS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- EX. EOP
- EX. FIRE HYDRANT

Scale: 1" = 20'

EXISTING CONDITIONS /  
DEMOLITION PLAN  
FOR  
**LOUIE'S LIMITED VARIETY STORE**  
5039 Wrightsville Ave.  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC



**CLIENT INFORMATION:**  
Mohamad Ali  
5039 Wrightsville Ave.  
Wilmington, NC 28403

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	7/26/2021
APPROVED:	CDC	SCALE:	1" = 20'
PROJECT NUMBER:	2020-011		

DRAWING NUMBER: **C-0**  
1 OF 5



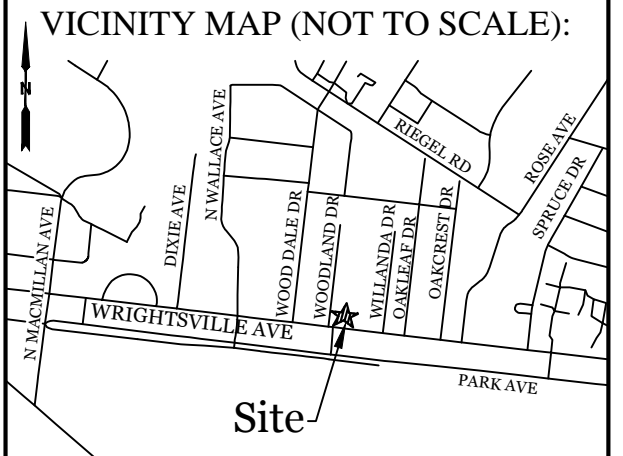
**SITE DATA**

PARCEL ID: R05520-008-037-000  
CURRENT ZONING: CB W/ WACO  
CAMA LAND USE CLASSIFICATION: URBAN  
PROJECT ADDRESS: 5039 WRIGHTSVILLE AVE WILMINGTON, NC 28403  
CURRENT OWNER: MOHAMAD ALI 4700 WEDGEFIELD DR WILMINGTON, NC 28409  
TOTAL ACREAGE IN PROJECT BOUNDARY: 16,151 S.F. (±0.37 ac.)  
TOTAL DISTURBED AREA: ±0.4 ACRES  
NUMBER OF BUILDINGS: 1  
PROPOSED USE: RETAIL  
TOTAL BUILDING SIZE IN GFA: 3,000 S.F. GFA  
BUILDING HEIGHT: ±20 / 2 STORY (25' MAX. ALLOWED IN WACO)  
BUILDING SETBACKS:  
FRONT: REQUIRED= 20' PROPOSED= 54'  
SIDE: REQUIRED= 0/20' TO RES. PROPOSED= 26.5'L/37.5'R  
REAR: REQUIRED= 10' PROPOSED= 10'

CALCULATION FOR BUILDING COVERAGE:  
PROPOSED COVERAGE 3,208 S.F. + 16,151 S.F. = 19.9%  
PROPOSED ON-SITE IMPERVIOUS AREAS:  
CONCRETE (SIDEWALK, C&G, ETC) 1,330 S.F.  
ASPHALT PARKING 5,557 S.F.  
TOTAL 6,887 S.F.  
TOTAL ON-SITE IMPERVIOUS AREA:  
PROPOSED: 6,887 S.F.  
EX. TO REMAIN: 3,208 S.F.  
TOTAL: 10,095 S.F. (62.5%)  
PROPOSED OFF-SITE IMPERVIOUS AREAS:  
CONCRETE SIDEWALK & DRIVE APRON 2,550 S.F.  
PARKING REQUIRED (3,000 S.F. RETAIL):  
MIN: 1 SPACE/400 S.F. = 8 SPACES (1 H.C.)  
MAX: 1 SPACE/200 S.F. = 15 SPACES (1 H.C.)  
PARKING PROVIDED: 9 SPACES (1 H.C.)  
BICYCLE PARKING REQUIRED: (MIN. 5 PER 25-125 VEHICLE SPACES)  
REQUIRED: 0 SPACES  
PROVIDED: 0 SPACES  
LOADING SPACES REQUIRED:  
REQUIRED: 0 SPACES  
PROVIDED: 0 SPACES  
FOUNDATION PLANTINGS: 105 LF X 20' FAÇADE X 12%  
REQUIRED: 252 S.F.  
PROVIDED: 258 S.F.  
STREETYARD REQUIREMENT:  
WRIGHTSVILLE AVE. 18' (9' MIN & 27' MAX WIDTH)  
REQUIRED: 170'-25' = 145' X 18' = 2,610 S.F. (1,305 S.F.\*)  
PROVIDED: 1,310 S.F.  
WOODLAND DR. 9' (4.5' MIN & 13.5' MAX WIDTH)  
REQUIRED: 95'-25' = 70' X 9' = 630 S.F.  
PROVIDED: 850 S.F.  
\* We are requesting a streetyard reduction of one-half (1/2) the required square footage due to essential site improvements.  
ESTIMATED TRIP GENERATION: 3,000 S.F. FREE STANDING DISCOUNT STORE (ITE CODE 815)  
AM PEAK: 3 PM PEAK: 14 DAILY: 159  
EXISTING SEWER AND WATER DEMAND: 0 GPD  
PROPOSED SEWER AND WATER DEMAND: 300 GPD

**DEVELOPMENT NOTES:**

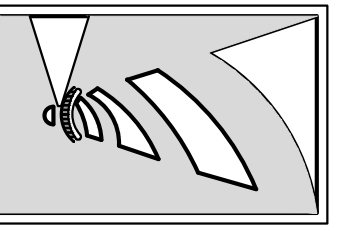
- 1. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE.
- 2. PROJECT SHALL COMPLY WITH ALL FEDERAL, STATE & NEW HANOVER COUNTY REGULATIONS.
- 3. A PAYMENT IN LIEU TO BE PROVIDED FOR PUBLIC SIDEWALK ALONG WRIGHTSVILLE AVE. AND WOODLAND DR.



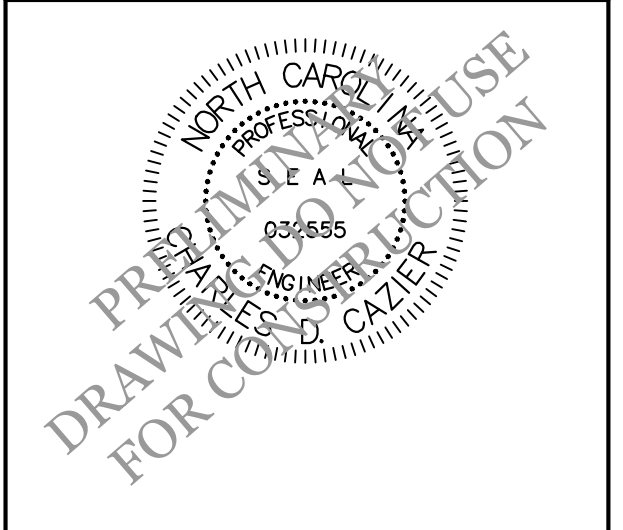
REVISIONS

NO.	DATE	DESCRIPTION

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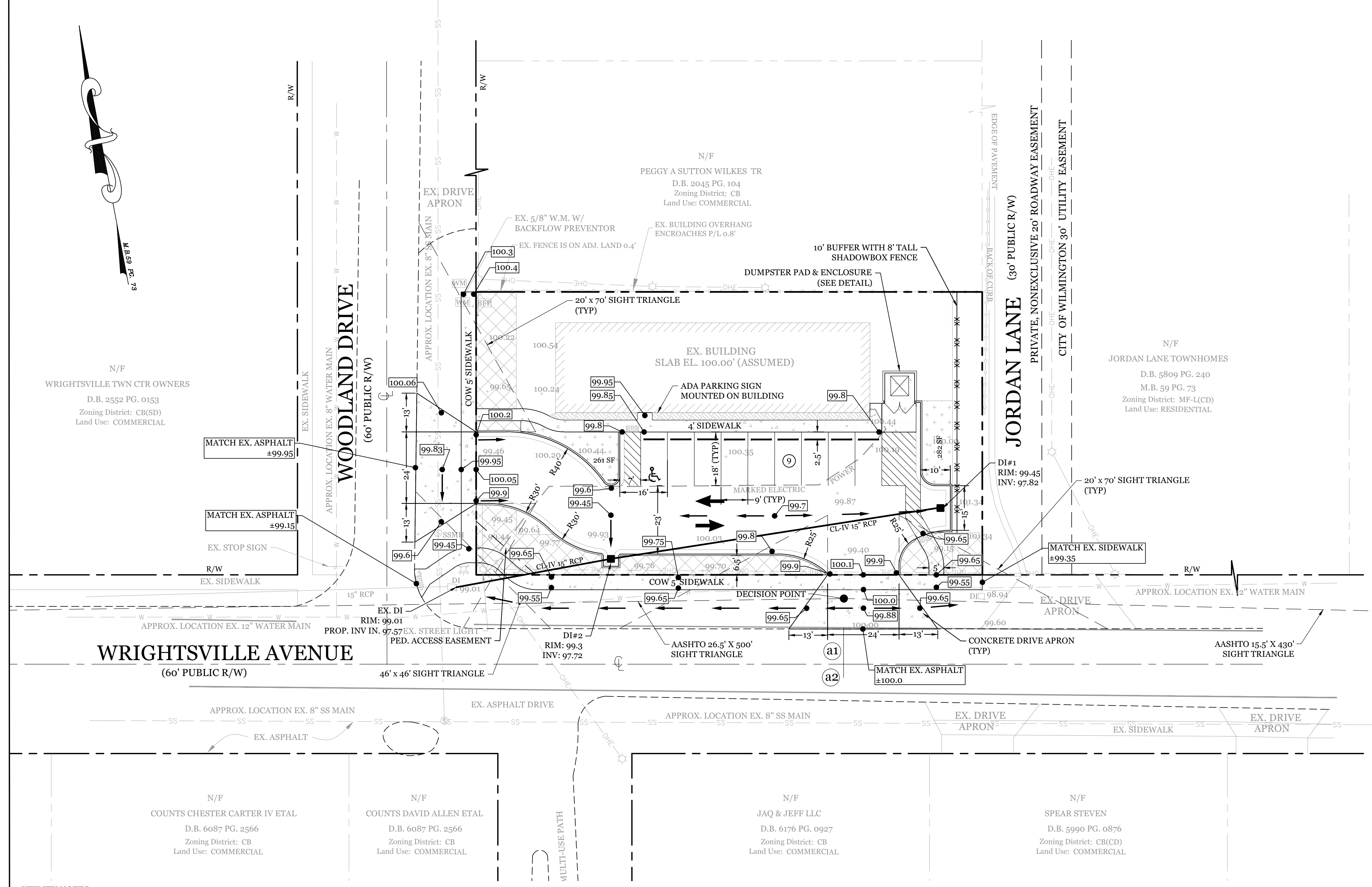
PRELIMINARY SITE PLAN  
FOR  
**LOUIE'S LIMITED VARIETY STORE**  
5039 Wrightsville Ave.  
CITY OF WILMINGTON  
NEW HANOVER COUNTY, NC



CLIENT INFORMATION:  
Mohamad Ali  
5039 Wrightsville Ave.  
Wilmington, NC 28403

DRAWN: JAE SHEET SIZE: 24x36  
CHECKED: CDC DATE: 7/26/2021  
APPROVED: CDC SCALE: 1" = 20'  
PROJECT NUMBER: 2020-011

DRAWING NUMBER: **C-1**



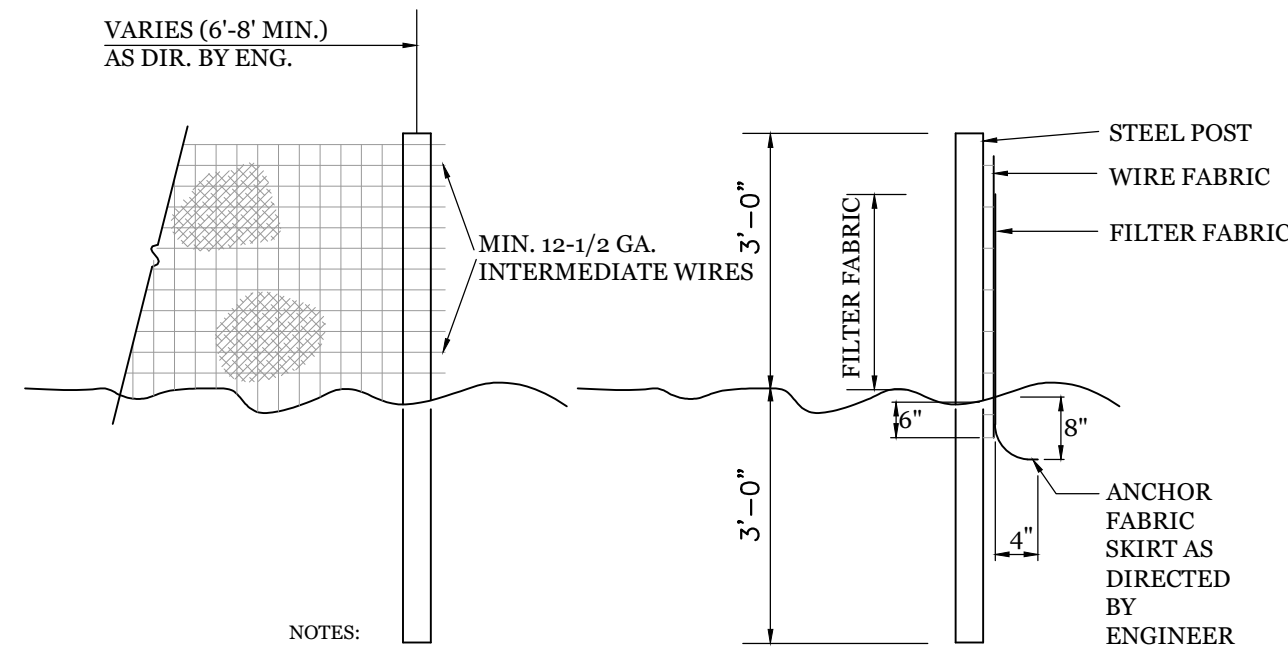
- UTILITY NOTES:**
- 1. EXISTING WATER AND SANITARY SEWER SERVICES ARE CURRENTLY AVAILABLE TO THE SITE FROM CAPE FEAR PUBLIC UTILITY AUTHORITY PUBLIC MAINS.
  - 2. ALL PROPOSED UTILITY SERVICES, SUCH AS ELECTRIC POWER, CATV, GAS & TELEPHONE SHALL BE INSTALLED UNDERGROUND.
  - 3. ALL WATER & SEWER UTILITIES TO BE INSTALLED PER CFWA TECHNICAL SPECIFICATIONS & STANDARDS.
  - 4. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.
  - 5. IF CONTRACTOR DESIRES CFWA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
  - 6. WHEN PVC WATER MAINS AND SERVICES ARE PROPOSED, THE PIPES ARE TO BE MARKED WITH NO. 10 INSULATED, SINGLE-STRAND COPPER WIRE INSTALLED & STRAPPED TO THE PIPES WITH DUCT TAPE. THIS IS TO BE ACCESSIBLE IN ALL VALVES AND METER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
  - 7. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION. CALL NC811 AT 811 OR 1-800-622-4949. CONTRACTOR IS RESPONSIBLE FOR THE REPAIR AND REPLACEMENT OF ANY UTILITIES, CURB & GUTTER, PAVEMENT, ETC. THAT MAY BE DAMAGED DURING CONSTRUCTION. DAMAGED ITEMS SHALL BE REPAIRED TO AT LEAST THE QUALITY OR WORKMANSHIP FOUND IN THE ORIGINAL ITEM.
  - 8. THE PROCESS FOR TELEPHONE CABLE PLACEMENT: \* FINAL GRADE WILL NEED TO BE ESTABLISHED. \* POWER WILL PLACE THEIR CABLE FIRST - APPROXIMATELY 3' DEEP. \* TELEPHONE & CABLE TV WILL THEN PLACE THEIR CABLE AT APPROXIMATELY 2' DEEP.
  - 9. SOLID WASTE DISPOSAL BY PRIVATE DUMPSTER SERVICE.
  - 10. PROJECT WILL UTILIZE EXISTING SANITARY SEWER AND WATER SERVICES. CONTRACTOR TO VERIFY CONDITION PRIOR TO START OF CONSTRUCTION.
  - 11. ANY EXISTING SEWER AND WATER SERVICES NOT BEING UTILIZED ARE TO BE ABANDONED PER CFWA STANDARDS.
  - 12. ALL WATER AND SANITARY SEWER LINES TO BE BURIED AT 36" MIN. DEPTH
  - 13. SITE LIGHTING HEIGHT WITHIN WACO SHALL BE LIMITED TO EITHER TEN (10') FEET FOR UNRESTRICTED LIGHTING OR FIFTEEN (15') FEET FOR NINETY-DEGREE CUTOFF LIGHTING.

- GENERAL TRAFFIC NOTES:**
- 1. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS OFF THE R/W TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - 2. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS. [DETAIL SD 15-13 & SD 11-3 COW TECH STDS]
  - 3. ALL SIGNS AND PAVEMENT MARKINGS OFF RIGHT OF WAY ARE TO MEET/BE MAINTAINED TO MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS. [DETAIL SD 15-13 & SD 11-3 COW TECH STDS]
  - 4. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. NOTE THIS ON THE PLAN AND CONTACT 341 -5899 FOR MORE DETAILS. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
  - 5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  - 6. CONTACT 811 PRIOR TO CONTACTING THE CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN THE RIGHT OF WAY.
  - 7. ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30" TO 10'.
- FIRE & SAFETY NOTES:**
- 1. CONSTRUCTION TYPE: EXISTING CONSTRUCTION TYPE TO REMAIN (COMMERCIAL)
  - 2. PROPOSED BUILDING WILL NOT BE SPRINKLED
  - 3. CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION
  - 4. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS DELIVERED TO THE JOB SITE
  - 5. A HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
  - 6. FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
  - 7. LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE THE FDC OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC
  - 8. ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
  - 9. PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696
  - 10. CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
  - 11. ALL ISOLATION VALVES WITHIN THE "HOT BOX" AND BETWEEN THE "HOT BOX" AND THE RISER ROOM, MUST BE ELECTRICALLY SUPERVISED.

**LEGEND**

- PROPERTY LINE
- ADJOINER
- RUNOFF DIRECTION
- WATERLINE
- SANITARY SEWER LINE
- SPOT ELEVATION
- PARKING LOT LANDSCAPING
- STREETYARD
- FOUNDATION PLANTINGS
- EXISTING FIRE HYDRANT

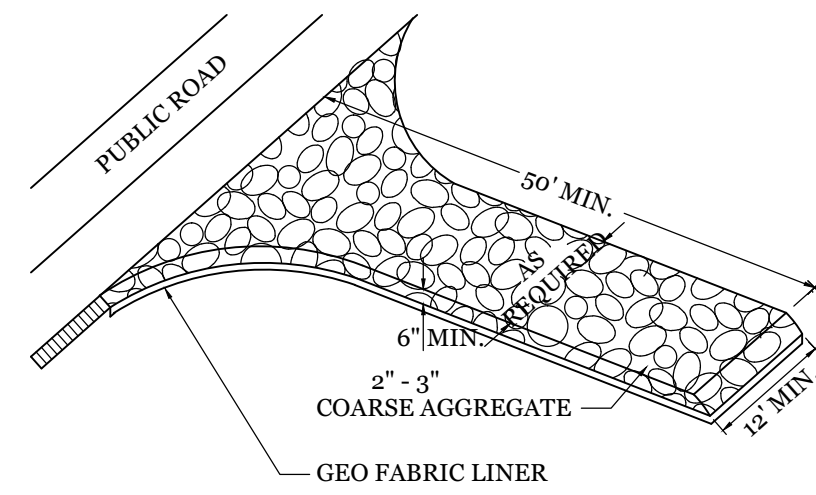
Scale: 1" = 20'



- NOTES:
- FENCE FABRIC SHALL BE A MIN. OF 12" IN WIDTH AND SHALL HAVE A MIN. OF SIX LINE WIRES WITH 12" STAY SPACING.
  - FABRIC SHALL BE FOR EROSION CONTROL AND MIN. OF 36" IN WIDTH. FABRIC SHALL BE FASTENED ADEQUATELY TO THE WIRE FABRIC AS DIRECTED BY THE ENGINEER.
  - STEEL POST SHALL BE 5'-4" IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

**TEMPORARY SILT FENCE**

NTS



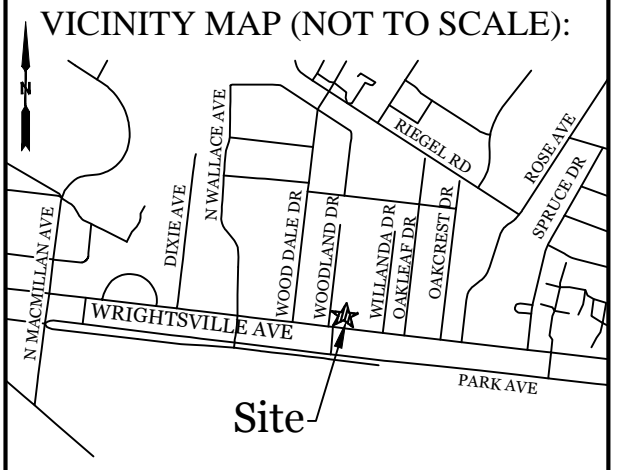
- NOTE:  
CONSTRUCTION ENTRANCE TO BE 12" OR ENTIRE WIDTH OF ENTRANCE, WHICHEVER IS GREATER.

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

NTS

**SITE WORK NOTES:**

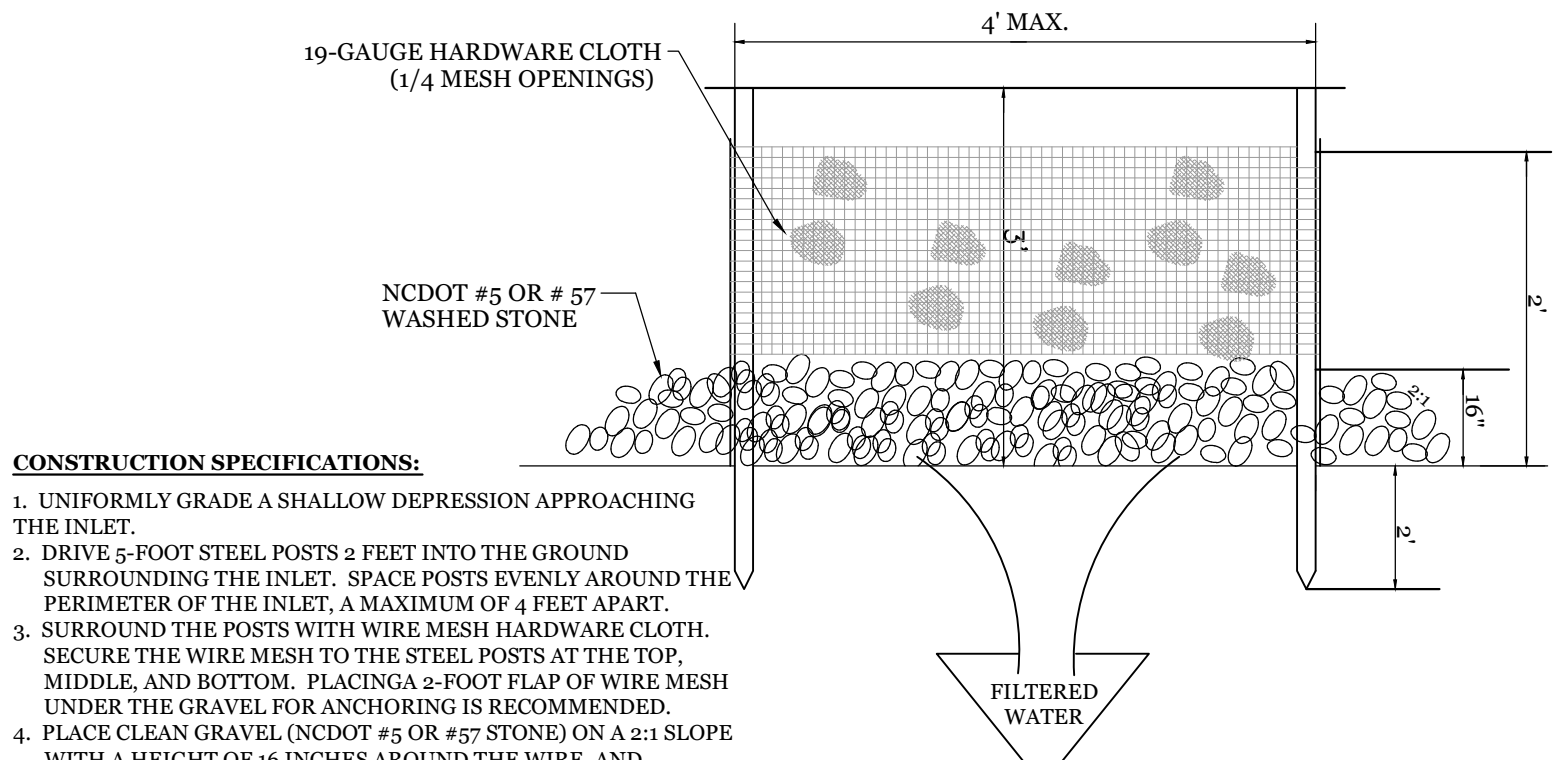
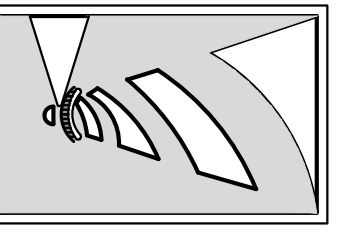
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BOTH ON AND ADJACENT TO THE SITE.
- CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
- GRUBBING AND STRIPPING: CONTRACTOR SHALL RAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
- MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
- DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
- FILL AND COMPACTION SHOULD COMPLY WITH GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
- THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITIES AT ALL CROSSINGS PRIOR TO COMMENCING TRENCH EXCAVATION. IF ACTUAL CLEARANCES ARE LESS THAN INDICATED ON PLAN, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION. ANY CONDITION DISCOVERED OR EXISTING THAT WOULD NECESSITATE A MODIFICATION OF THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- NO CONSTRUCTION IS TO BEGIN BEFORE LOCATION OF EXISTING UTILITIES HAS BEEN DETERMINED. CALL "NC ONE-CALL" AT LEAST 48 HOURS BEFORE COMMENCING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS, THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/ RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPROPRIATE PERSONNEL.
- CONTRACTOR SHALL ADJUST ALL MANHOLES, VALVE & CURB BOXES TO FINAL GRADE UPON COMPLETION OF ALL CONSTRUCTION. ANY BOXES DAMAGED OR OTHERWISE DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- EXISTING SURVEY DATA PROVIDED BY ESP ASSOCIATES, INC.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
- ALL SERVICE CONNECTIONS SHALL BE INSTALLED TO MEET ALL LOCAL, STATE, AND CFPIA CODES. METERS, TAPS, MATERIALS, WORKMANSHIP AND ALL FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL COMPLY WITH ALL REQUIREMENTS.
- ALL BACKFILL FROM UTILITY INSTALLATION MUST BE COMPACTED OR AMENDED TO PROVIDE TRAFFIC BEARING CAPACITY. GEOTECHNICAL ENGINEER TO BE CONSULTED AT CONTRACTORS COST AS NECESSARY.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INSTALLATION. ALL AREAS SHALL BE SLOPED TO DRAIN AWAY FROM BUILDINGS AT ALL TIMES.
- CONCRETE FOR WALKS, CURBS AND DRIVES SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS - AIR ENTRAINED.
- FIELD TESTING SHALL BE DONE BY AN INDEPENDENT TESTING LABORATORY PAID FOR BY THE OWNER. FURTHER TESTING REQUIRED DUE TO A FAILED TEST WILL BE PAID FOR BY THE CONTRACTOR.
- ALL SIDEWALKS SHALL BE FREE OF CRACKS, BREAKS, OR ANY OTHER DEFECT PRIOR TO RECEIVING A CERTIFICATE OF OCCUPANCY.



**REVISIONS**

NO.	DATE	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**  
 5725 Oleander Dr. Unit E-7  
 Wilmington, North Carolina 28403  
 Phone: 910.859.8983  
 Email: Charlie@intracoastalengineering.com  
 License Number: P-0662

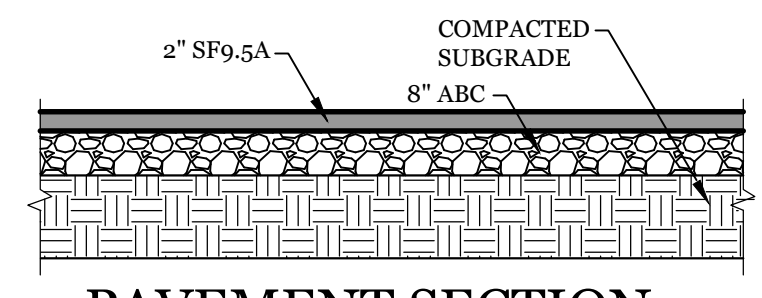


- CONSTRUCTION SPECIFICATIONS:**
- UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
  - DRIVE 2-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.
  - SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
  - PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16 INCHES AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
  - ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
  - COMPACT THE AREA PROPERLY AND STABILIZED IT WITH GROUND COVER.

- MAINTENANCE:**
- INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

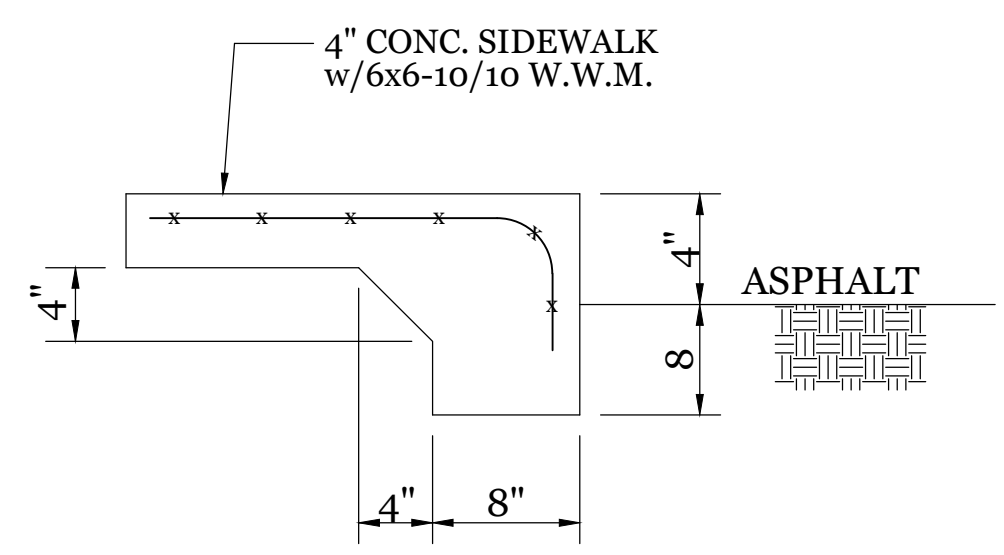
**HARDWARE CLOTH AND GRAVEL INLET PROTECTION**

NTS



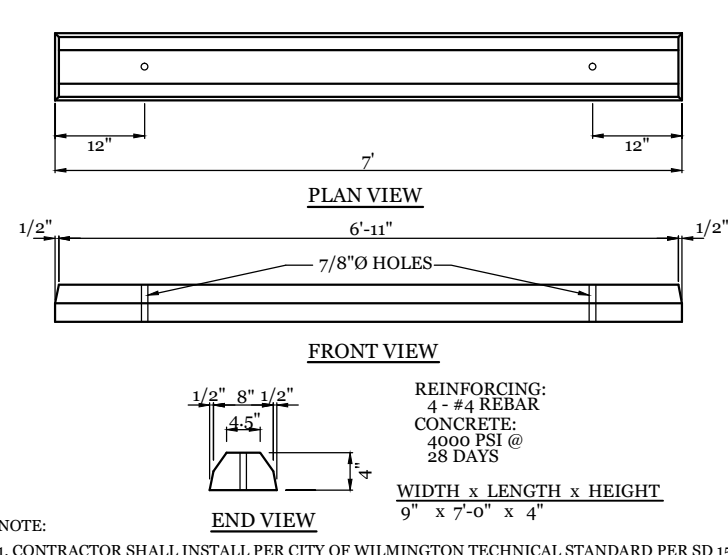
**PAVEMENT SECTION**

NTS



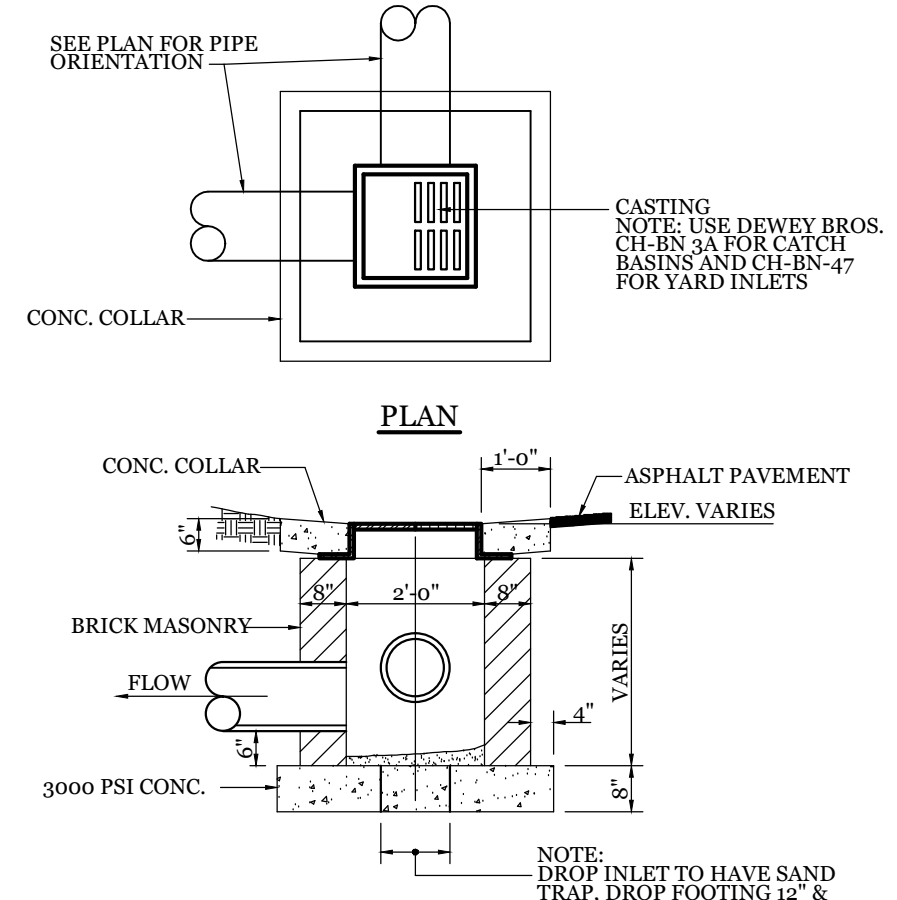
**TURNDOWN SIDEWALK**

NTS



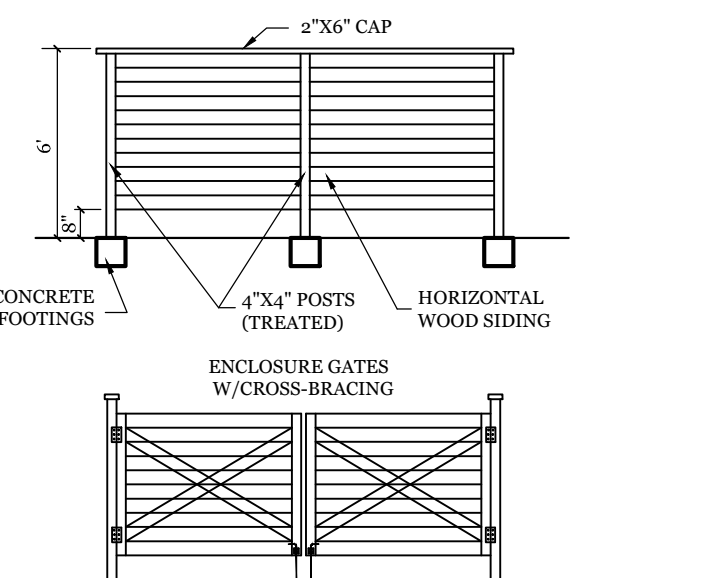
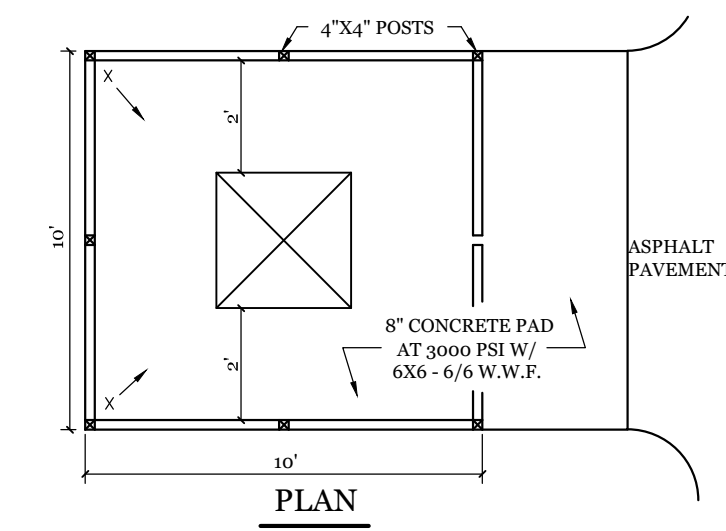
**WHEEL STOP DETAIL**

NTS



**DROP INLET DETAIL**

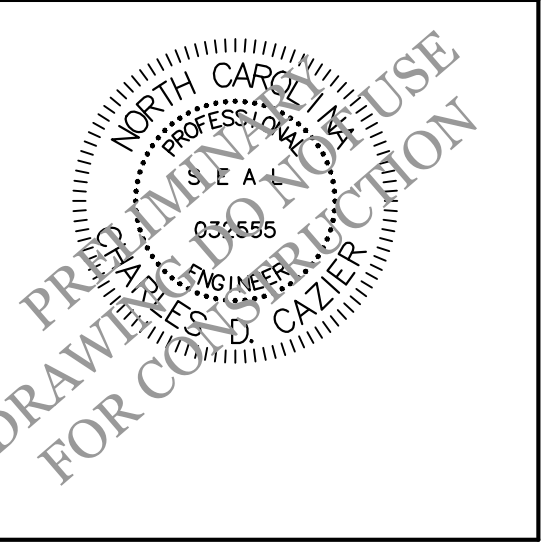
NTS



**DUMPSTER PAD & ENCLOSURE DETAIL**

NTS

**DETAILS FOR LOUIE'S LIMITED VARIETY STORE**  
 5039 Wrightsville Ave.  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

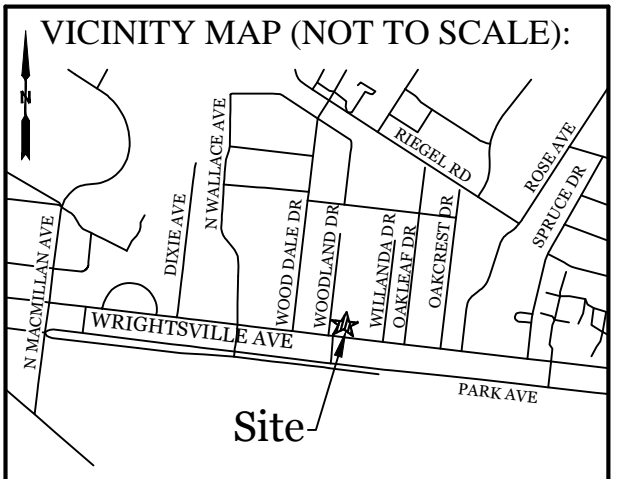


**CLIENT INFORMATION:**  
 Mohamad Ali  
 5039 Wrightsville Ave.  
 Wilmington, NC 28403

DRAWN: JAE	SHEET SIZE: 24x36
CHECKED: CDC	DATE: 7/26/2021
APPROVED: CDC	SCALE: NTS
PROJECT NUMBER: 2020-011	

DRAWING NUMBER: **C-2**

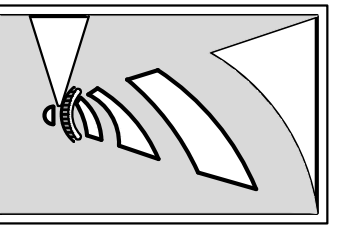




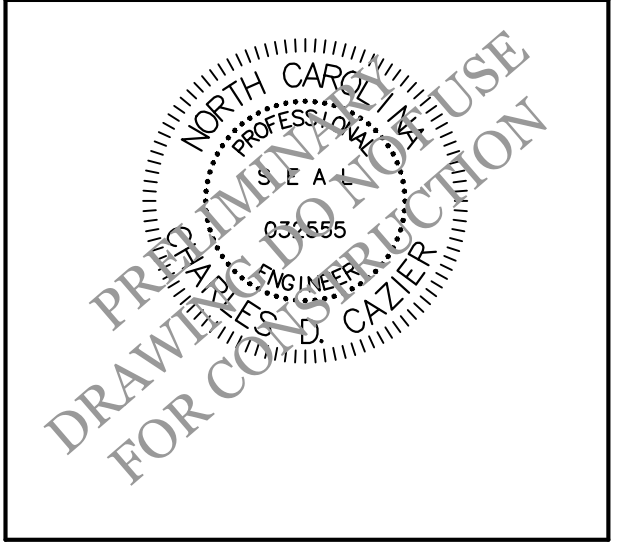
REVISIONS

NO.	DATE	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**  
 5725 Oleander Dr. Unit E-7  
 Wilmington, North Carolina 28403  
 Phone: 910.859.8983  
 Email: Charlie@intracoastalengineering.com  
 License Number: P-0662



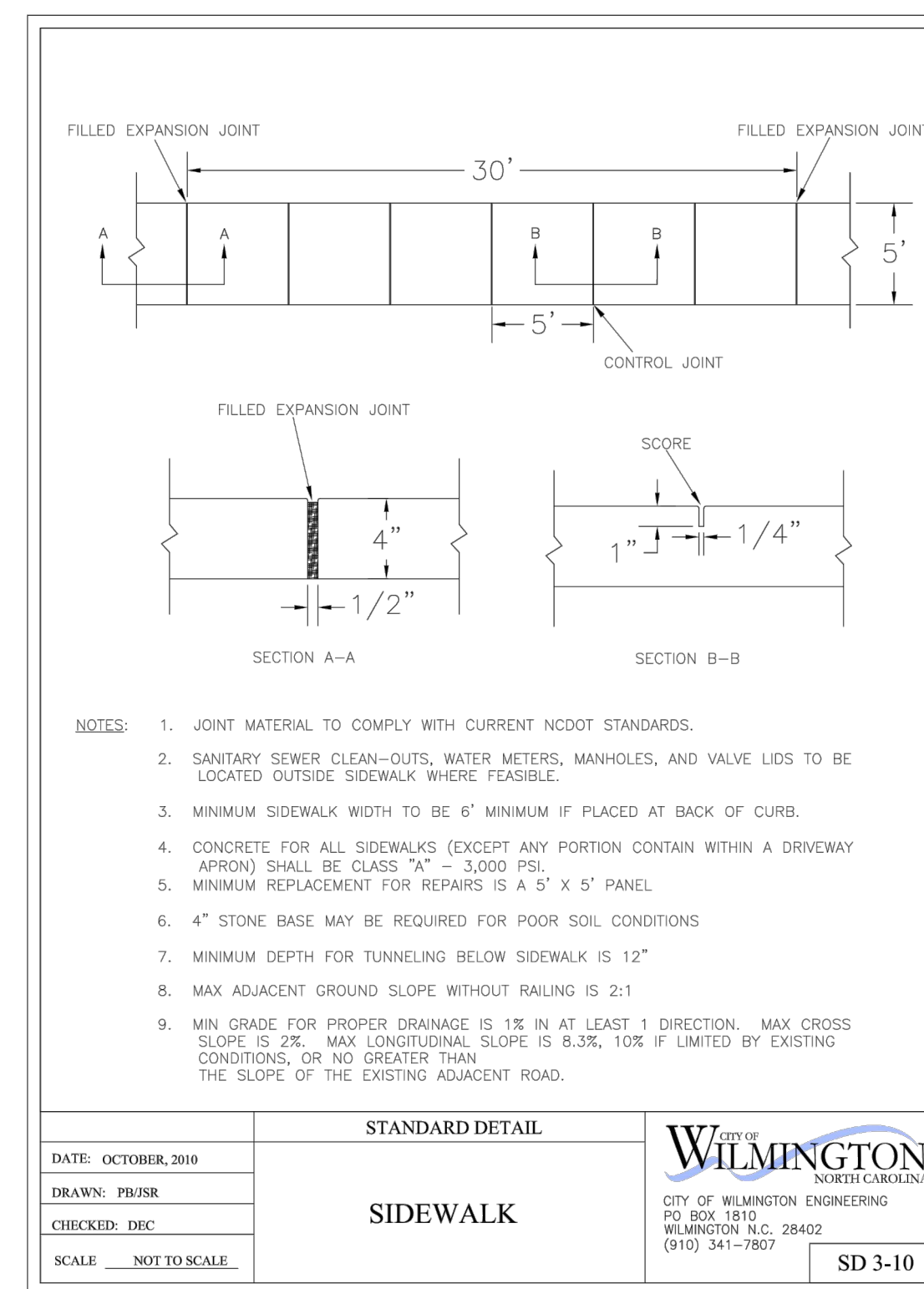
**DETAILS FOR LOUIE'S LIMITED VARIETY STORE**  
 5039 Wrightsville Ave.  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC



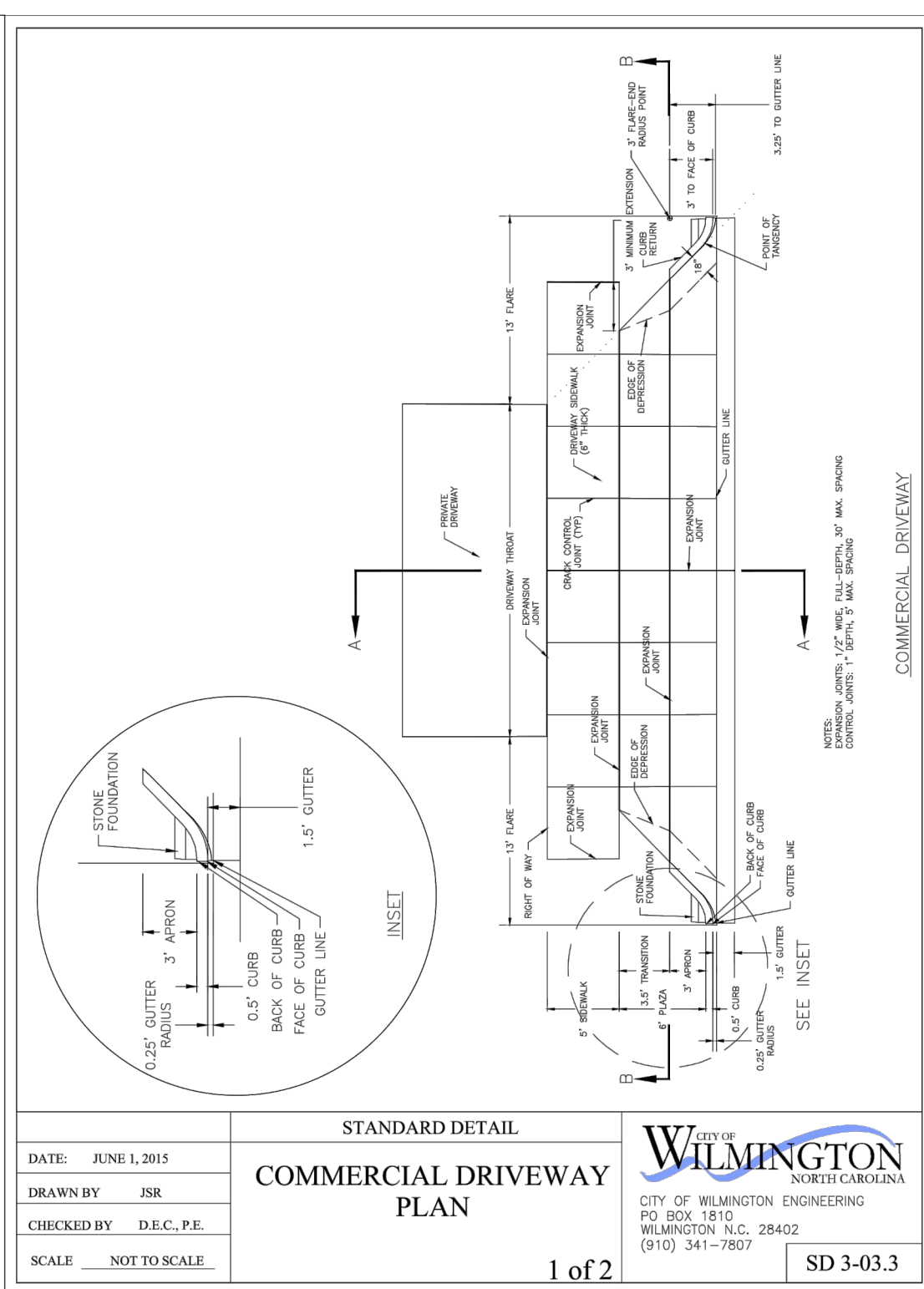
**CLIENT INFORMATION:**  
 Mohamad Ali  
 5039 Wrightsville Ave.  
 Wilmington, NC 28403

DRAWN:	JAE	SHEET SIZE:	24x36
CHECKED:	CDC	DATE:	7/26/2021
APPROVED:	CDC	SCALE:	NTS
PROJECT NUMBER:	2020-011		

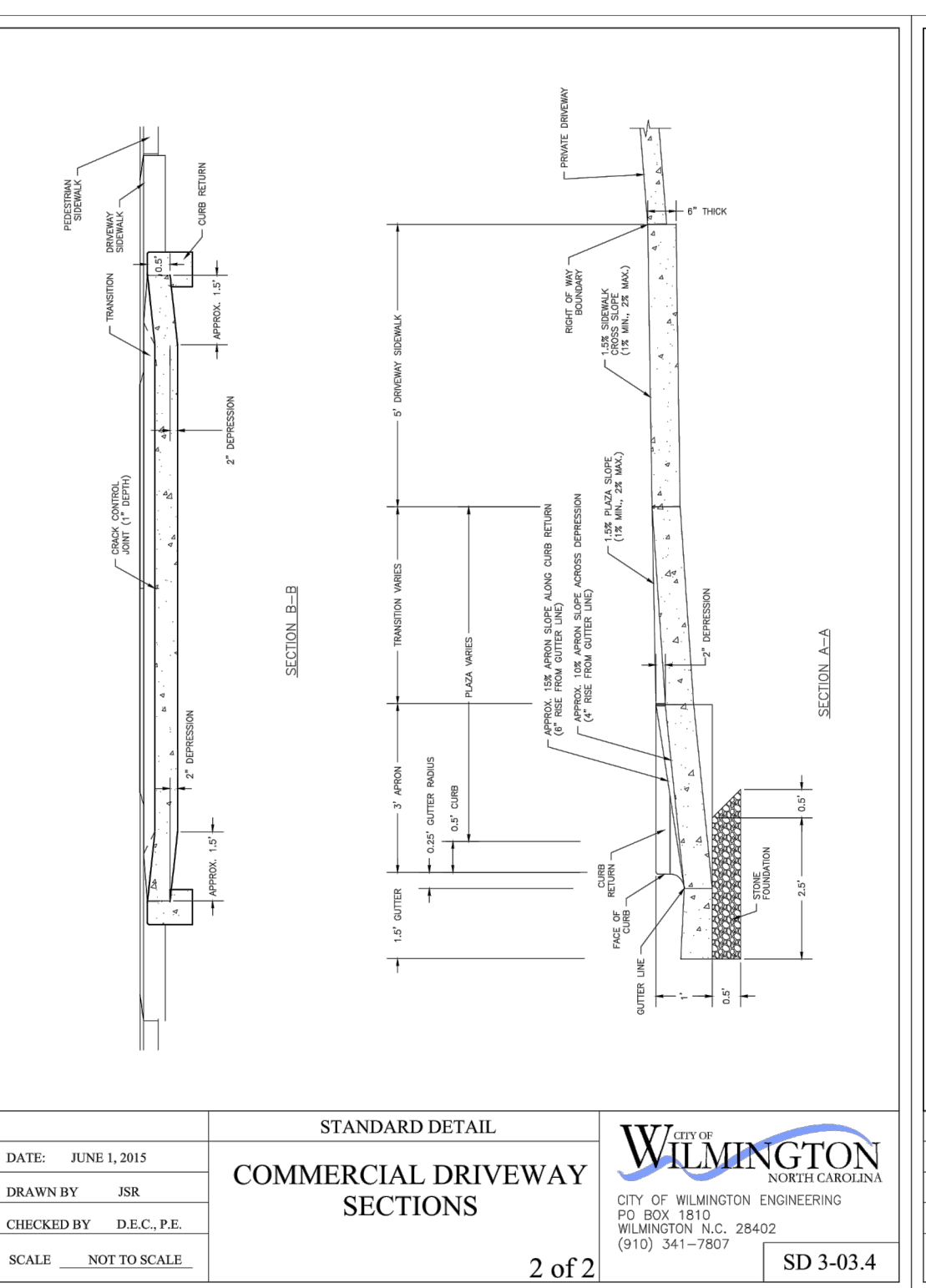
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 4 OF 5



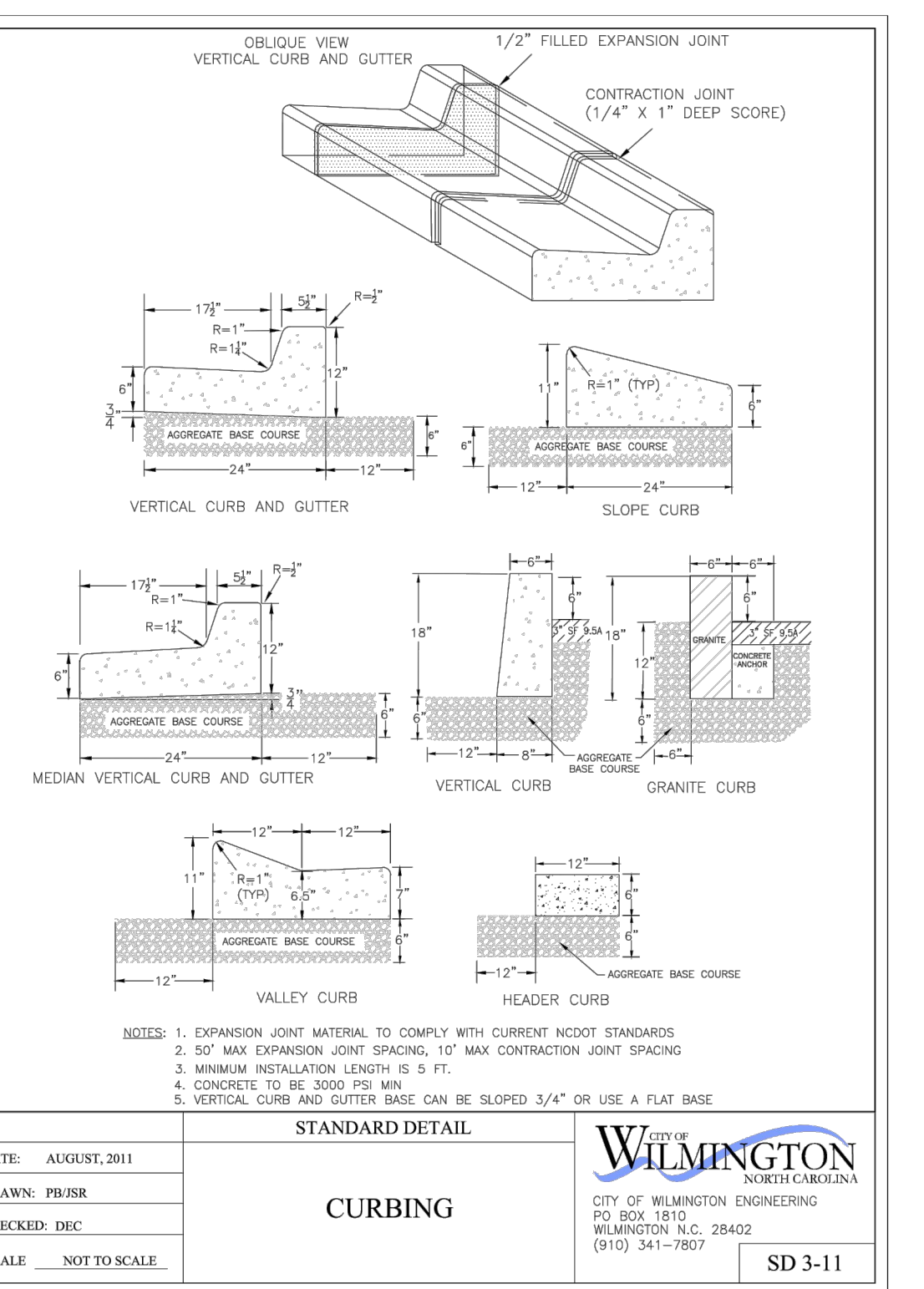
DATE:	OCTOBER, 2010	CITY OF WILMINGTON	SD 3-10
DRAWN:	PBJSR	CITY OF WILMINGTON ENGINEERING	
CHECKED:	DEC	PO BOX 1810 WILMINGTON N.C. 28402	
SCALE:	NOT TO SCALE	(910) 341-7807	



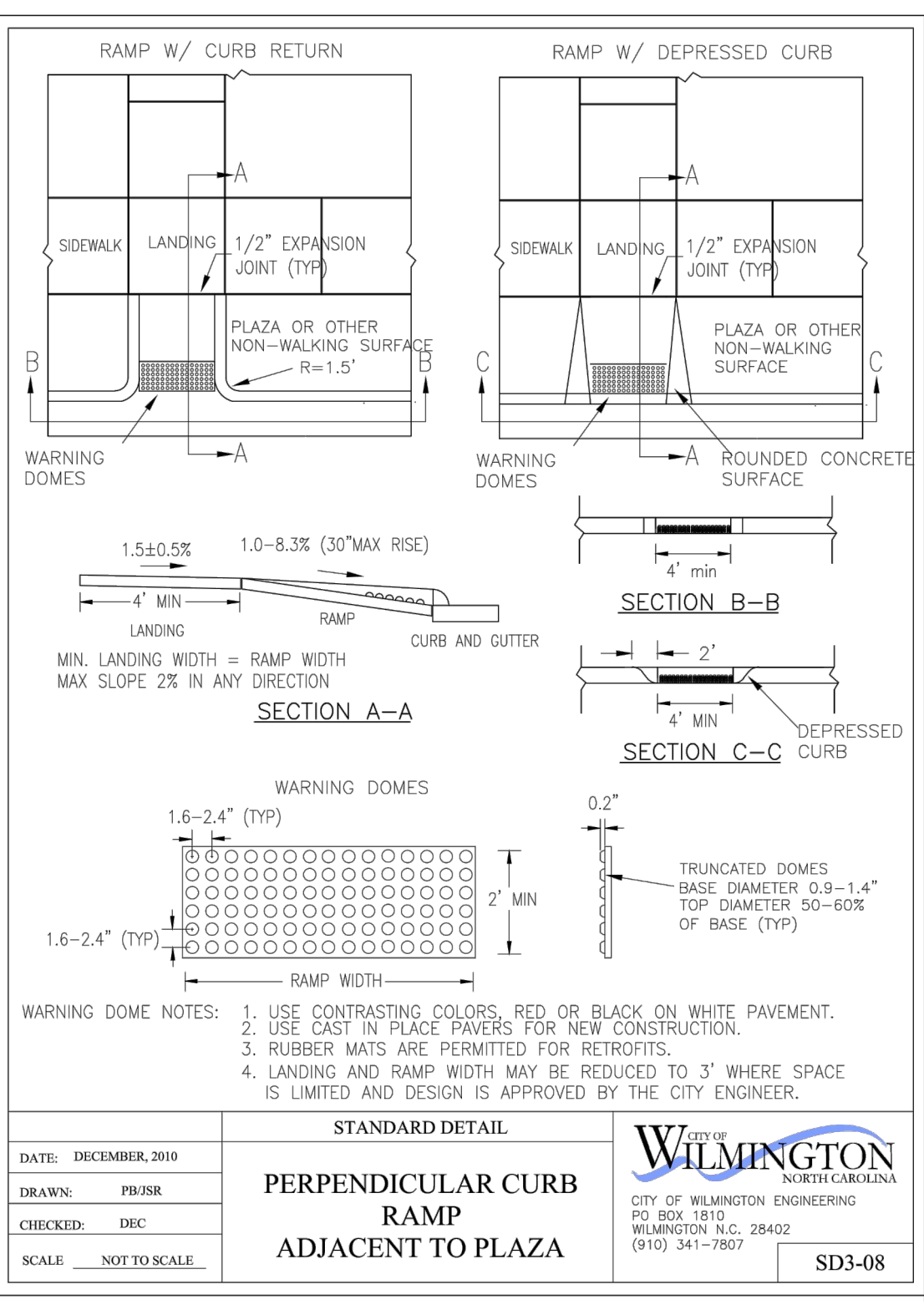
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DRAWN BY:	JSR	CITY OF WILMINGTON ENGINEERING	
CHECKED BY:	D.E.C./P.E.	PO BOX 1810 WILMINGTON N.C. 28402	
SCALE:	NOT TO SCALE	(910) 341-7807	



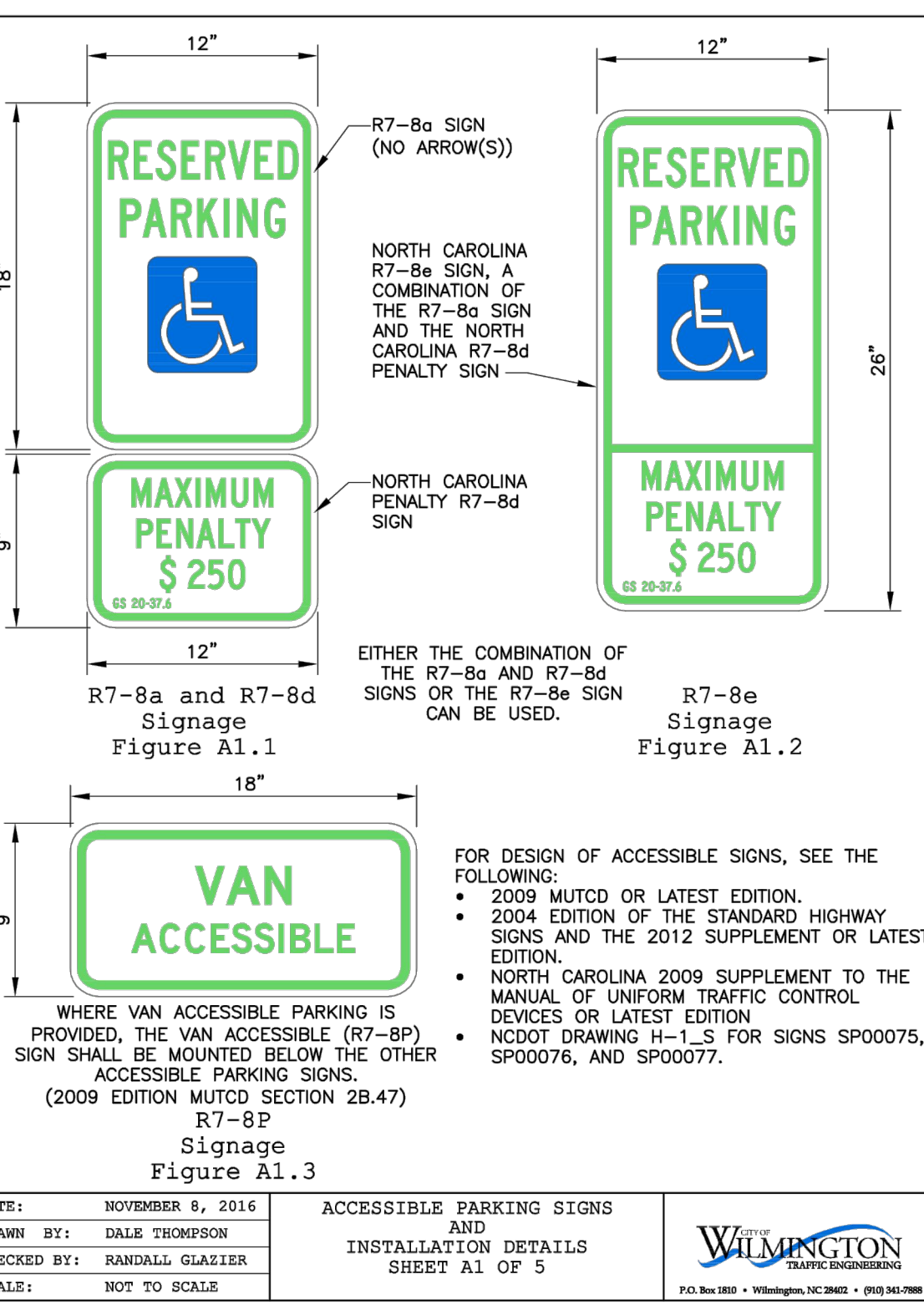
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SCALE:	NOT TO SCALE	(910) 341-7807	



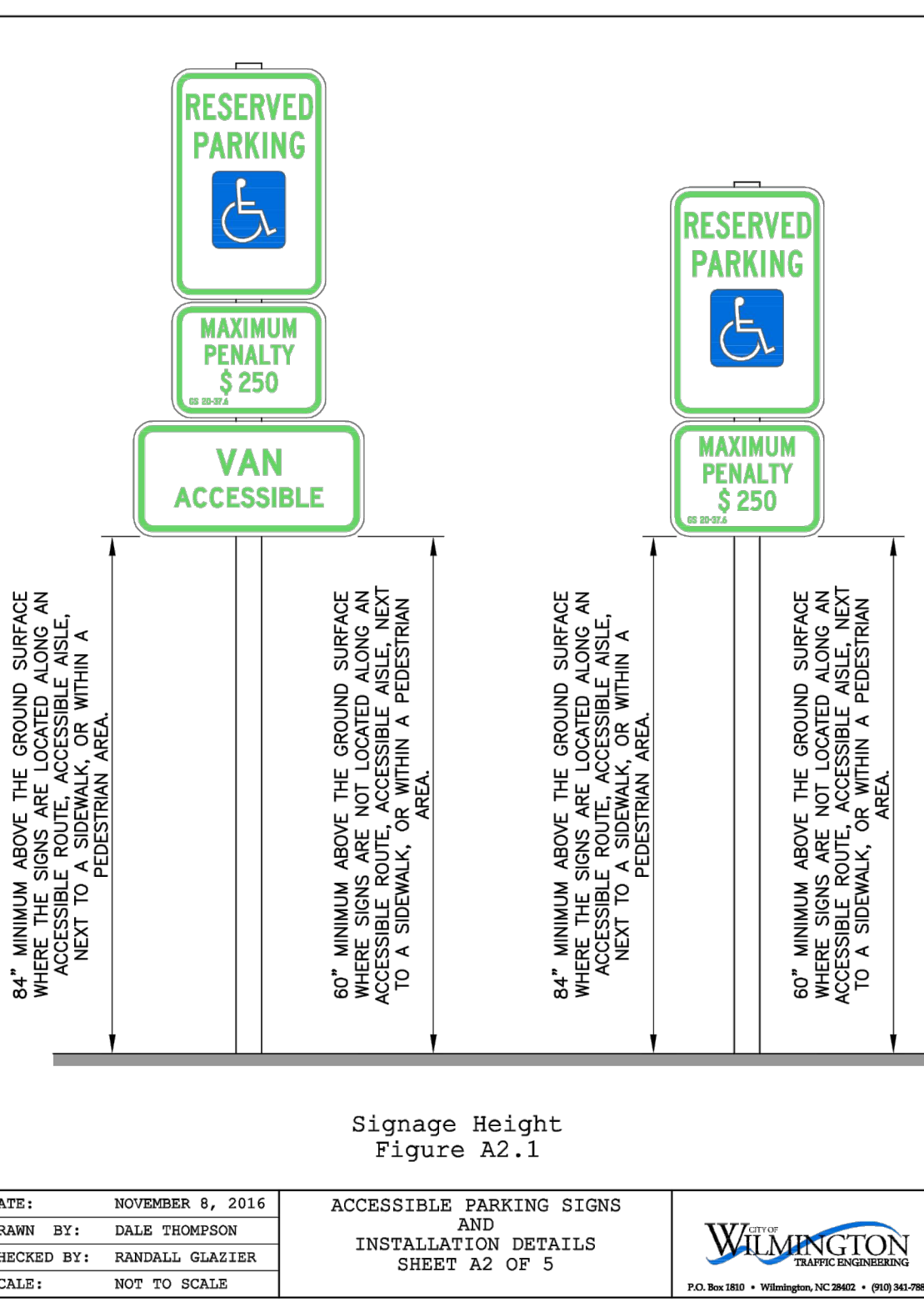
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CHECKED:	DEC	PO BOX 1810 WILMINGTON N.C. 28402	
SCALE:	NOT TO SCALE	(910) 341-7807	



DATE:	DECEMBER, 2010	CITY OF WILMINGTON	SD3-08
DRAWN:	PBJSR	CITY OF WILMINGTON ENGINEERING	
CHECKED:	DEC	PO BOX 1810 WILMINGTON N.C. 28402	
SCALE:	NOT TO SCALE	(910) 341-7807	

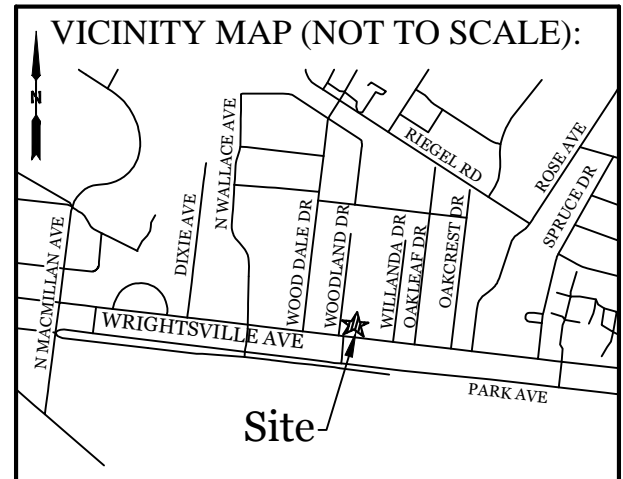


DATE:	NOVEMBER 8, 2016	CITY OF WILMINGTON	SHEET A1 OF 5
DRAWN BY:	DALE THOMPSON	CITY OF WILMINGTON ENGINEERING	
CHECKED BY:	RANDALL GLAETZER	PO BOX 1810 WILMINGTON N.C. 28402	
SCALE:	NOT TO SCALE	(910) 341-7807	



DATE:	NOVEMBER 8, 2016	CITY OF WILMINGTON	SHEET A2 OF 5
DRAWN BY:	DALE THOMPSON	CITY OF WILMINGTON ENGINEERING	
CHECKED BY:	RANDALL GLAETZER	PO BOX 1810 WILMINGTON N.C. 28402	
SCALE:	NOT TO SCALE	(910) 341-7807	





**SITE DATA**

PARCEL ID: R05520-008-037-000  
 CURRENT ZONING: CB W/ WACO  
 CAMA LAND USE CLASSIFICATION: URBAN  
 PROJECT ADDRESS: 5039 WRIGHTSVILLE AVE  
 WILMINGTON, NC 28403  
 CURRENT OWNER: MOHAMAD ALI  
 4709 WEDGEFIELD DR  
 WILMINGTON, NC 28409

TOTAL ACREAGE IN PROJECT BOUNDARY: 16,151 S.F. (±0.37 ac.)

**LANDSCAPE REQUIREMENTS:**

	REQUIRED	PROVIDED
PARKING LOT INTERIOR SHADING: 20% CANOPY COVERAGE (5,557 SF)	1,111 SF	1,414 SF
STREETYARD: WRIGHTSVILLE AVE. 18' (9' MIN & 27' MAX WIDTH)		
170'-25' = 145' X 18'	2,610 SF (1,305 SF*)	1,310 SF
UNDERSTORY TREES (1,310 / 600 X 3)	7	7
SHRUBS (1,310 / 600 X 6)	13	14
* We are requesting a streetyard reduction of one-half (½) the required square footage on Wrightsville Ave. due to essential site improvements.*		
STREETYARD: WOODLAND DR. 9' (4.5' MIN & 13.5' MAX WIDTH)		
95'-25' = 70' X 9'	630 SF	850 SF
UNDERSTORY TREES (850 / 600 X 3)	4	4
SHRUBS (850 / 600 X 6)	9	10
FOUNDATION PLANTINGS: (12% OF BLDG FACE ADJ. TO PARKING AREA)		
105 LF X 20' FACADE X 12%	252 SF	258 SF
TREE REQUIREMENTS PER DISTURBED ACRE:		
0.4 ACRES DISTURBED X 15 TREES =	6 TREES	15 TREES

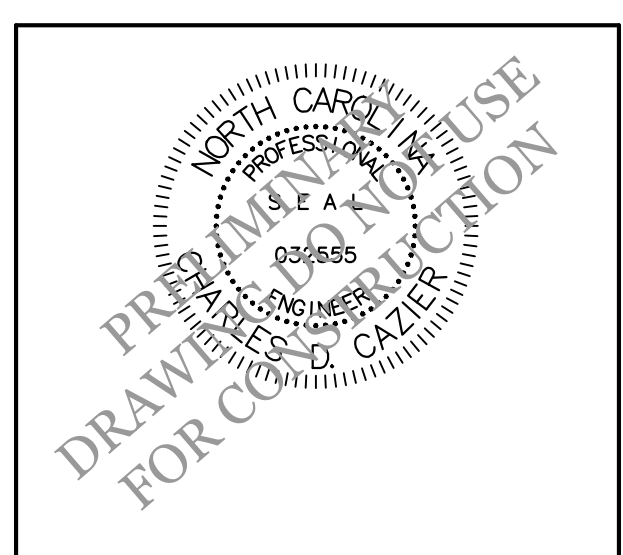
- NOTE:**
- THIS WORK INCLUDES, BUT IS NOT LIMITED TO THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, FINAL GRADING, SEEDING, SOIL AMENDMENTS, ETC., AS MAY BE REQUIRED FOR A COMPLETE INSTALLATION.
  - ALL PLANT MATERIALS SHALL BE INSTALLED USING GOOD HORTICULTURAL PRACTICES IN ACCORDANCE WITH THE PLANS AND DETAILS.
  - TREE LOCATIONS SHOWN ON PLAN MAY REQUIRE ADJUSTMENT IN THE FIELD. WHENEVER FEASIBLE, TREES SHOULD BE PLANTED A MINIMUM OF TEN (10) FEET FROM ALL UNDERGROUND UTILITIES, STREETLIGHTS, HYDRANTS, AND OUT OF DRAINAGE FLOW LINES. SHOULD THIS NOT BE POSSIBLE, CONTACT THE ENGINEER FOR DECISION ON PLACEMENT.
  - ALL TREES IN TURF AREAS SHALL HAVE 12" MIN. CLR. CIRCUMFERENCE AROUND THE TRUNK BASE. PROVIDE 2" MIN. THICK MULCH AT BASE OF TRUNK.
  - MATURE PLANTINGS SHALL NOT INTERFERE WITH UTILITIES AND TRAFFIC SIGHT LINES.
  - ALL LANDSCAPED ISLANDS AND BEDS TO BE STABILIZED WITH MIN. 3" LAYER OF HARDWOOD MULCH.
  - ALL AREAS OUTSIDE OF PLANTED BEDS TO BE SODDED WITH CENTIPEDE SOD OR OWNER APPROVED EQUIVALENT.

**REVISIONS**

NO.	DESCRIPTION

**INTRACOASTAL ENGINEERING, PLLC**  
 5725 Oleander Dr. Unit E-7  
 Wilmington, North Carolina 28403  
 Phone: 910.859.8983  
 Email: Charlie@intracoastalengineering.com  
 License Number: P-0662

**LANDSCAPE PLAN FOR LOUIE'S LIMITED VARIETY STORE**  
 5039 Wrightsville Ave.  
 CITY OF WILMINGTON  
 NEW HANOVER COUNTY, NC

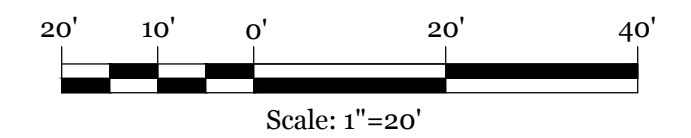
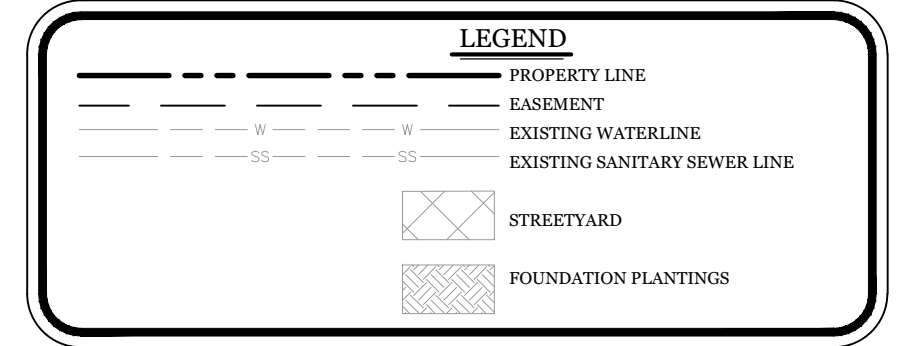
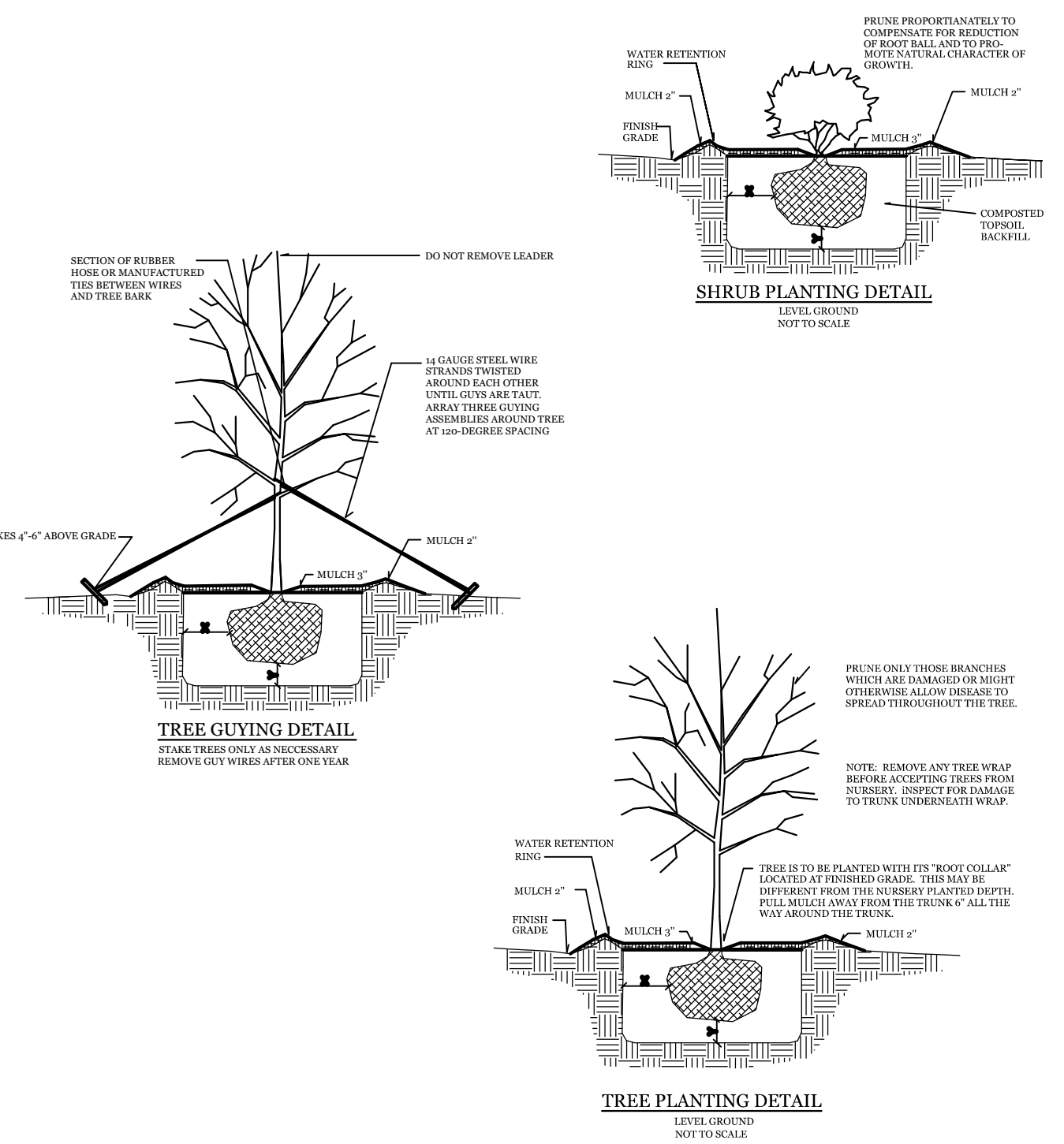
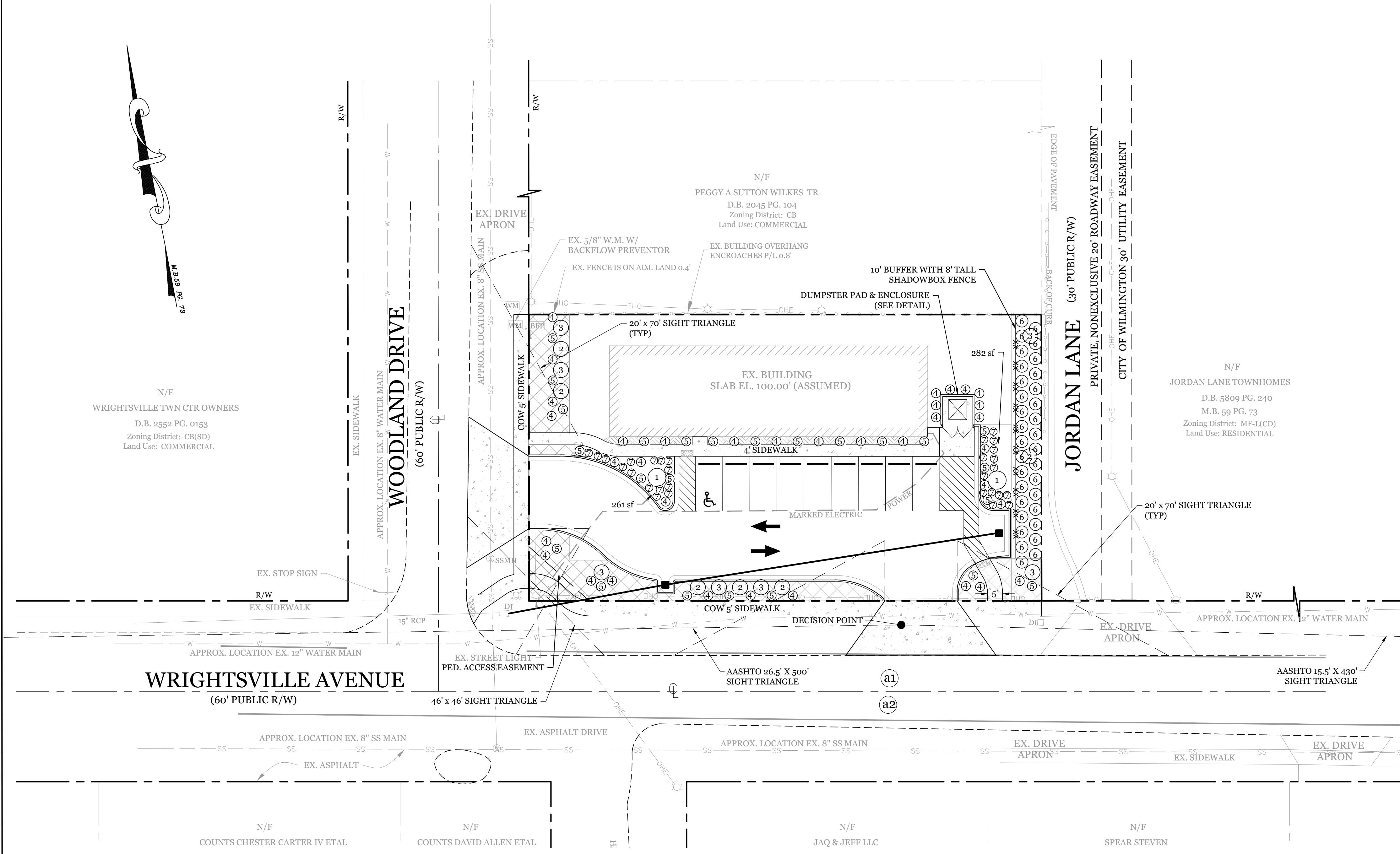


**CLIENT INFORMATION:**

Mohamad Ali  
 5039 Wrightsville Ave.  
 Wilmington, NC 28403

DRAWN: JAE SHEET SIZE: 24x36  
 CHECKED: CDC DATE: 7/26/2021  
 APPROVED: CDC SCALE: 1" = 20'  
 PROJECT NUMBER: 2020-011

DRAWING NUMBER: **L-1**  
 5 OF 5



**PROPOSED LANDSCAPE PLANT LIST**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	TYPE	MIN. SIZE
①	2	QUERCUS VIRGINIANA	LIVE OAK	SHADE TREE	2.5" CAL.
②	6	CORNUS FLORIDA	FLOWERING DOGWOOD	UNDERSTORY TREE	8' MIN. HEIGHT
③	7	ACER BUERGERIANUM	TRIDENT MAPLE	UNDERSTORY TREE	8' MIN. HEIGHT
④	35	LOROPETALUM CHINENSE	EVERRED LOROPETALUM	SHRUB	1 GAL. (12" MIN. HEIGHT)
⑤	24	RHODODENDRON INDICUM	AZALEA	SHRUB	1 GAL. (12" MIN. HEIGHT)
⑥	33	ILEX VOMITORIA	YAUPON HOLLY	SHRUB	7 GAL. (36" MIN. HEIGHT)
⑦	29	LIRIOPE MUSCARI	LILY GRASS	GROUND COVER	1 GAL.

N/F  
 WRIGHTSVILLE TOWN CENTER OWNERS  
 D.B. 2552 PG. 0153  
 Zoning District: CB(SD)  
 Land Use: COMMERCIAL

N/F  
 PEGGY A SUTTON WILKES TR  
 D.B. 2045 PG. 104  
 Zoning District: CB  
 Land Use: COMMERCIAL

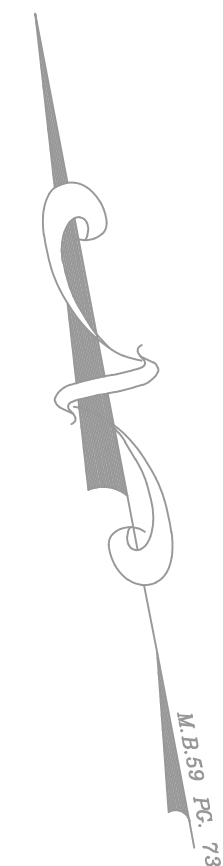
N/F  
 JORDAN LANE TOWNHOMES  
 D.B. 5809 PG. 240  
 M.B. 59 PG. 73  
 Zoning District: MF-L(CD)  
 Land Use: RESIDENTIAL

N/F  
 COUNTS CHESTER CARTER IV ETAL

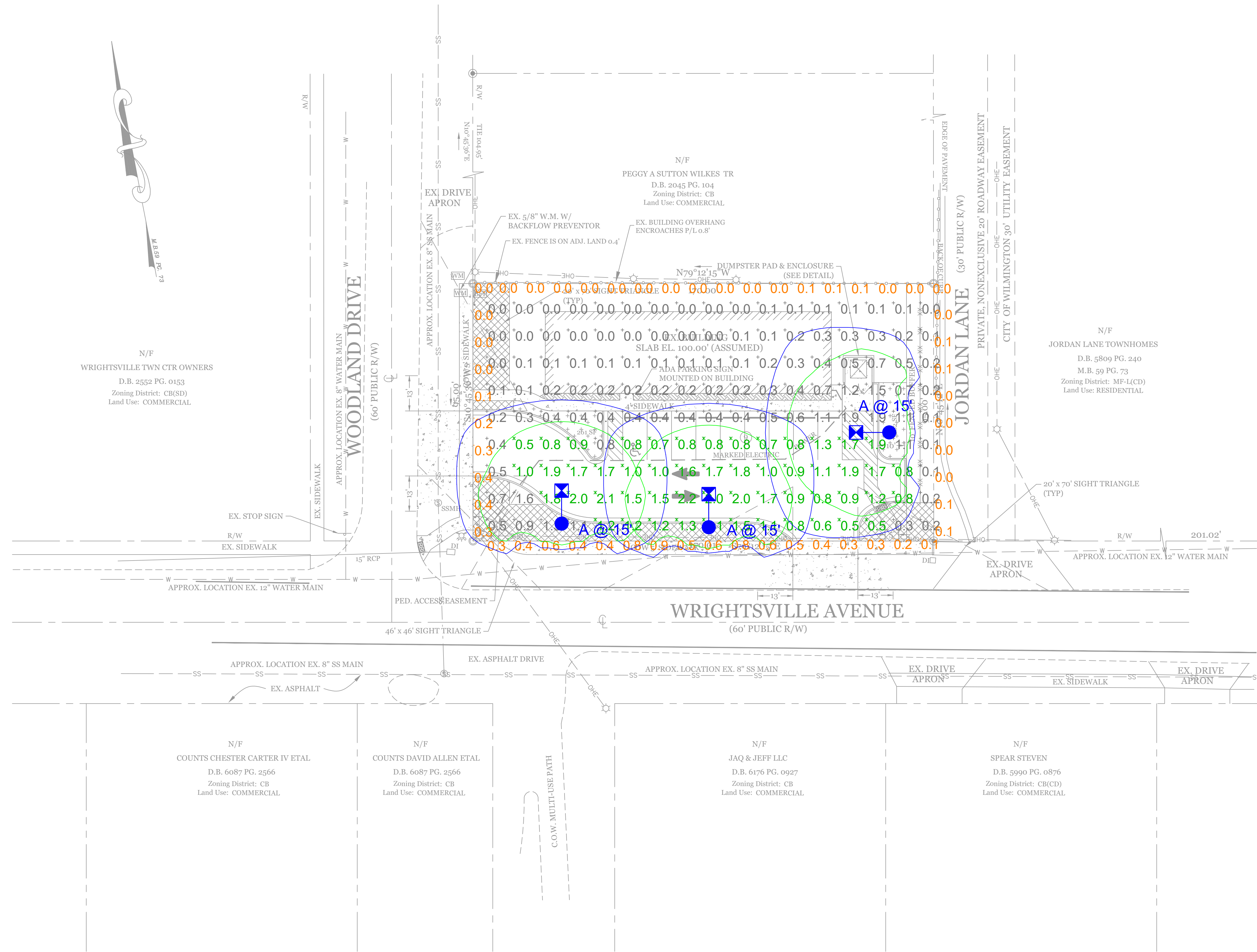
N/F  
 COUNTS DAVID ALLEN ETAL

N/F  
 JAQ & JEFF LLC

N/F  
 SPEAR STEVEN



N/F  
WRIGHTSVILLE TWN CTR OWNERS  
D.B. 2552 PG. 0153  
Zoning District: CB(SD)  
Land Use: COMMERCIAL

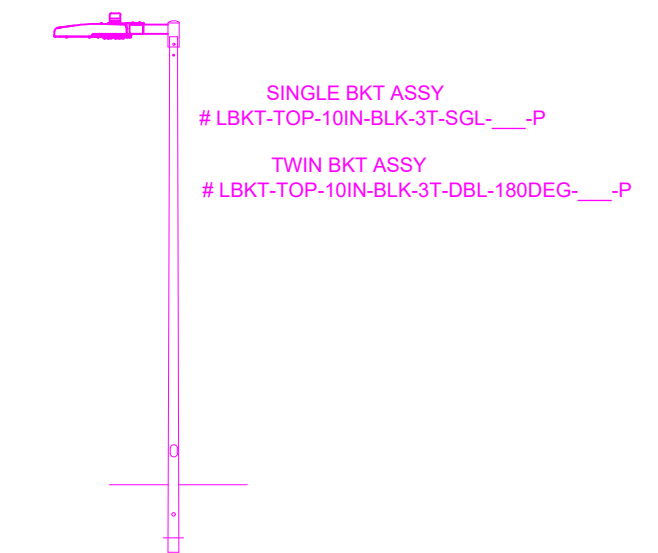
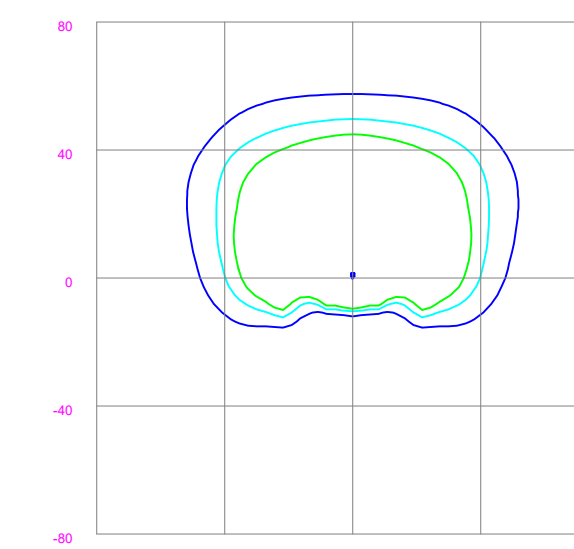


**ISOFOOTCANDLE CURVES**

FIXTURE: PEDESTRIAN LED  
MOUNTING HEIGHT: 15 FT  
LIGHT SOURCE: 50W LED'S, 4000K (EANB)  
PATTERN: TYPE IV, B1-US-G1 (zero light at or above 90 degrees)

POLE ASSY # LPOLE-A-D8-AL-18FT-BLK-3T\_\_\_P  
ASSY # LFIX-SBK-LED-50-BLK-FV-MULTIV\_\_\_P

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LAMP LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER to INNER): 0.100, 0.200, 0.300

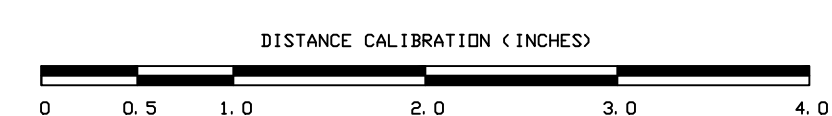
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Grid	+	0.6 fc	2.2 fc	0.0 fc	N/A	N/A
Parking	X	1.2 fc	2.2 fc	0.5 fc	4.4:1	2.4:1
Property Line	+	0.2 fc	0.9 fc	0.0 fc	N/A	N/A

Schedule						
Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
⊗	A	3	LED 50w Shoebox - Type IV - 4000K	1	4300	0.85

**LIGHTING DESIGN TOLERANCE**

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

Customer approval \_\_\_\_\_ Date \_\_\_\_\_



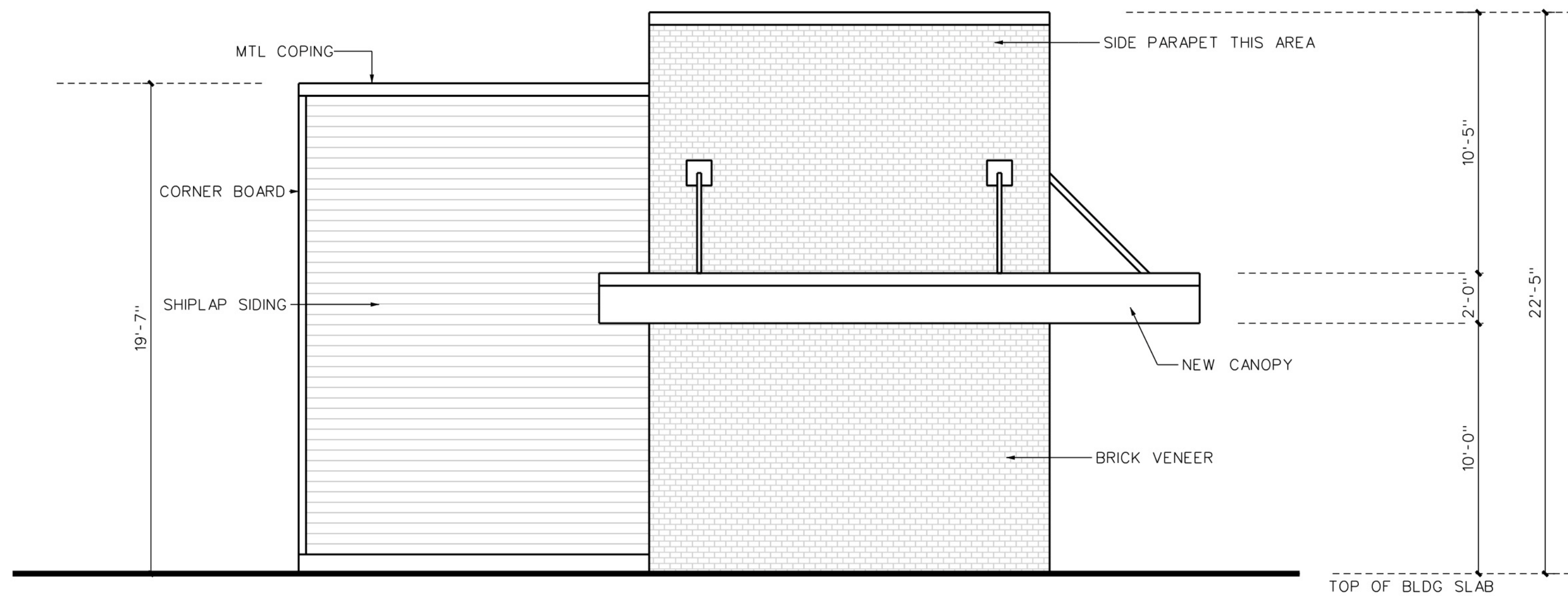
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Louie's Limited Variety Store Wrightsville Ave.	
Wilmington, NC	
SITE LIGHTING PLAN	
Designed by	DEP LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale 1" = 20'
Date	07/07/2020 Size "Arch D"
Description	LED 50w Shoebox
Drawing No.	20-0237A Sht. 1 OF 1



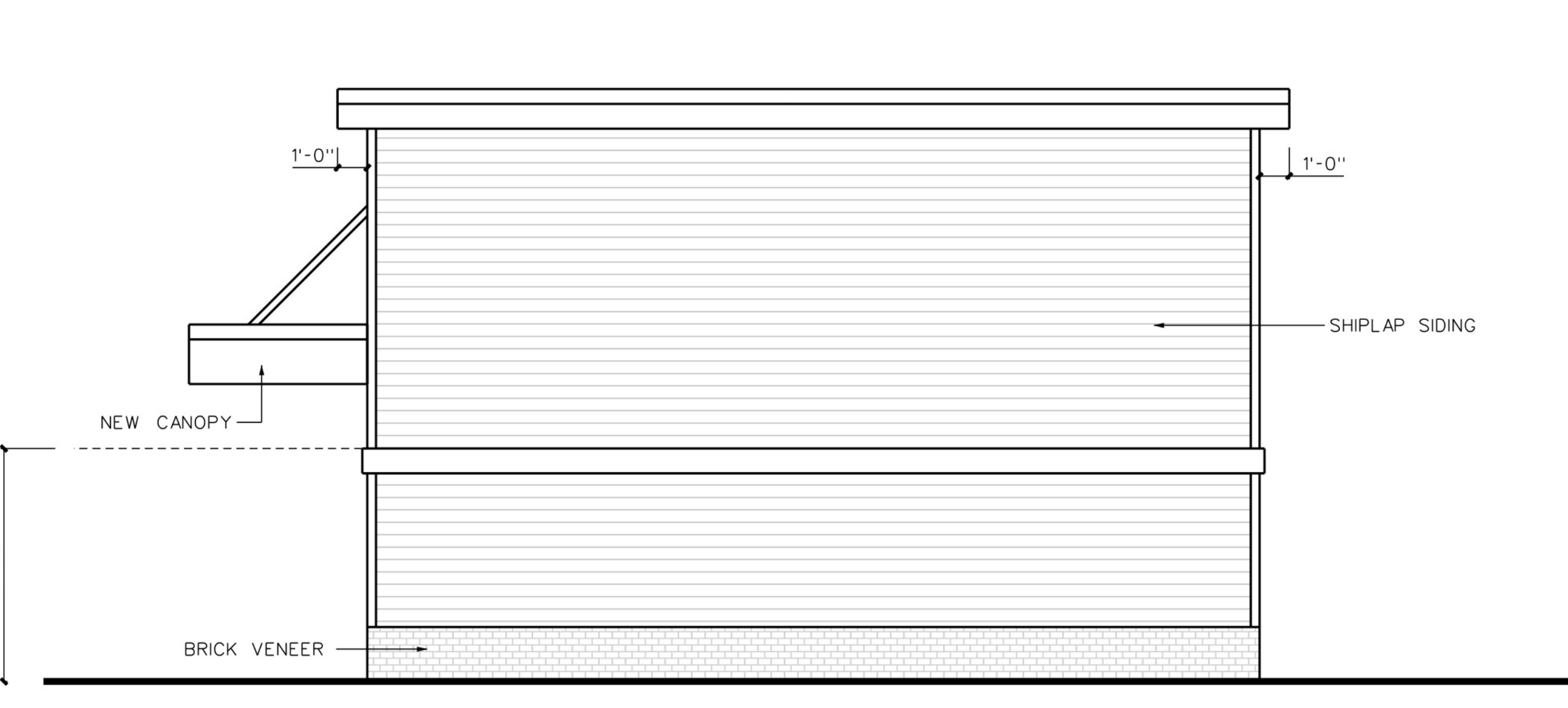
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WOODLAND DR. ELEVATION

1/4" = 1'-0" (WHEN ORIGINAL PDF IS PRINTED AT 100%)

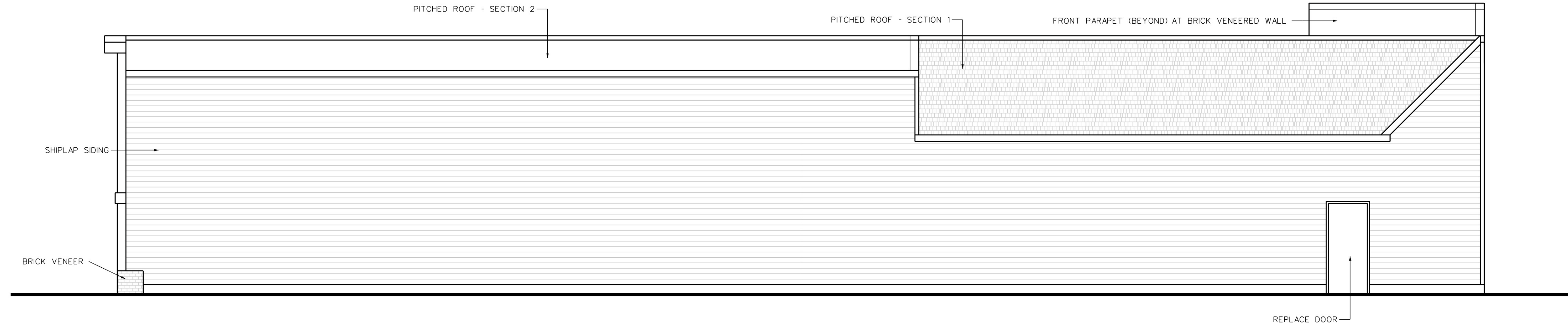
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JORDAN LN. ELEVATION

1/4" = 1'-0" (WHEN ORIGINAL PDF IS PRINTED AT 100%)

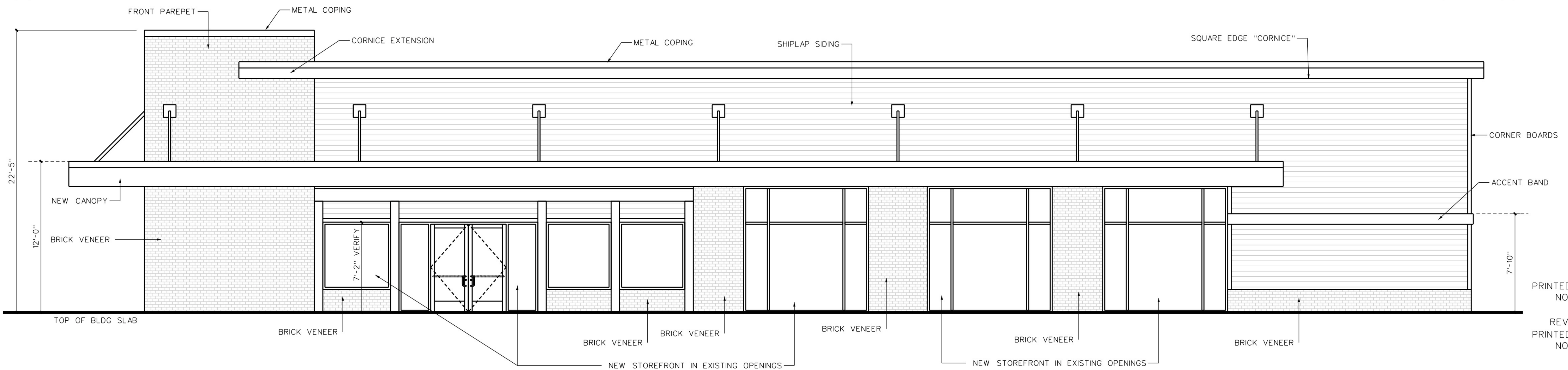
03



REAR ELEVATION

1/4" = 1'-0" (WHEN ORIGINAL PDF IS PRINTED AT 100%)

02



WRIGHTSVILLE AVE ELEVATION

1/4" = 1'-0" (WHEN ORIGINAL PDF IS PRINTED AT 100%)

01

A401



LOUIE'S LIMITED VARIETY STORE

5039 WRIGHTSVILLE AVE, WILMINGTON, NC  
GORDON HALL, ARCHITECT, PLLC  
2143 East Lake Shore Drive Wilmington NC PH 910-470-4255

DRAWING DATE  
01 14 2020  
PRELIMINARY  
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